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CUP 15-010. 106



REGULAR MEETING AGENDA
125 E. College Street, Covina, California
Council Chamber of City Hall
Tuesday, August 18, 2015

**CITY COUNCIL/SUCCESSOR AGENCY TO THE COVINA
REDEVELOPMENT AGENCY/COVINA PUBLIC FINANCING
AUTHORITY/COVINA HOUSING AUTHORITY
JOINT MEETING—CLOSED SESSION
6:30 p.m.**

CALL TO ORDER

ROLL CALL

Council/Agency/Authority Members Allen, Delach, Marquez, Mayor Pro Tem/Vice Chairperson Stapleton and Mayor/Chairperson King

PUBLIC COMMENTS

The Public is invited to make comment on Closed Session items only at this time. To address the Council/Agency/Authority please complete a yellow speaker request card located at the entrance and give it to the City Clerk. Your name will be called when it is your turn to speak. Individual speakers are limited to five minutes each.

The City Council/Successor Agency to the Covina Redevelopment Agency/Covina Public Financing Authority/Covina Housing Authority will adjourn to closed session for the following:

CLOSED SESSION

- A. G.C. §54957.6 – CONFERENCE WITH LABOR NEGOTIATORS
City designated representatives: Andrea Miller, City Manager, Kim Raney, Police Chief, Danielle Tellez, Human Resources Director
Employee Organization: American Federation of State, County and Municipal Employees (AFSCME)
- B. G.C. §54957.6 – CONFERENCE WITH LABOR NEGOTIATORS
City designated representatives: Andrea Miller, City Manager, Kim Raney, Police Chief, Danielle Tellez, Human Resources Director
Unrepresented Employees

RECESS



**CITY COUNCIL/SUCCESSOR AGENCY TO THE COVINA
REDEVELOPMENT AGENCY/COVINA PUBLIC FINANCING
AUTHORITY/COVINA HOUSING AUTHORITY
JOINT MEETING—OPEN SESSION
7:30 p.m.**

RECONVENE AND CALL TO ORDER

ROLL CALL

Council/Agency/Authority Members Allen, Delach, Marquez, Mayor Pro Tem/Vice Chairperson Stapleton and Mayor/Chairperson King

PLEDGE OF ALLEGIANCE

Led by Boy Scout Troop 461

INVOCATION

Given by Covina Police Chaplain Truax

PRESENTATIONS

Presentation to Covina Police Department Canine Program

PUBLIC COMMENTS

To address the Council/Agency/Authority please complete a yellow speaker request card located at the entrance and give it to the City Clerk/Agency/Authority Secretary. Your name will be called when it is your turn to speak. Those wishing to speak on a LISTED AGENDA ITEM will be heard when that item is addressed. Those wishing to speak on an item NOT ON THE AGENDA will be heard at this time. State Law prohibits the Council/Agency/Authority Members from taking action on any item not on the agenda. Individual speakers are limited to five minutes each.

COUNCIL/AGENCY/AUTHORITY COMMENTS

Council/Agency/Authority Members wishing to make any announcements of public interest or to request that specific items be added to future Council/Agency/Authority agendas may do so at this time.

CITY MANAGER COMMENTS

CONSENT CALENDAR

All matters listed under consent calendar are considered routine, and will be enacted by one motion. There will be no separate discussion on these items prior to the time the Council/Agency/Authority votes on them, unless a member of the Council/Agency/Authority requests a specific item be removed from the consent calendar for discussion.

CC 1. City Council to approve the minutes from the July 7, 2015 Regular meeting of the City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority.

Report: [Minutes of July 7, 2015](#)

CC 2. City Council to approve the minutes from the July 21, 2015 Regular meeting of the City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority.

Report: [Minutes of July 21, 2015](#)

CC 3. City Council to approve the payment of demands in the amount of \$4,398,014.34.

Report: [Payment of demands](#)

CC 4. Successor Agency to the Redevelopment Agency to receive payment of demands in the amount of \$93,199.07.

Report: [Agency payment of demands](#)

CC 5. City Council to receive and file Quarterly Report of the Treasurer to the City of Covina and Successor Agency to the Covina Redevelopment Agency for the quarter ended June 30, 2015.

Report: [Quarterly Report of Treasurer](#)

CC 6. City Council to approve extension of Metrolink Complex Security Services with Absolute Security International, Incorporated, approve decrease in security hours, and authorize the City Manager to execute eight-month contract.

Report: [Metrolink Complex Security Services](#)

CC 7. City Council to approve amendment to Food Services Agreement between County of Los Angeles and City of Covina and authorize the City Manager to execute the agreement.

Report: [Food Services Agreement](#)

CC 8. City Council to approve Animal Control Service Level request and changes to billing rates between the Department of Animal Care and Control and the City of Covina and authorize the City Manager to execute the agreement.

Report: [Animal Control Services Level](#)

CC 9. City Council to approve Professional Services Agreement with AdminSure, Inc., for Workers' Compensation Claims Administration for the Period of September 1, 2015 through August 31, 2018.

Report: [Agreement AdminSure, Inc.](#)

PUBLIC HEARING

PH 1. City Council to conduct a public hearing to consider adoption of a resolution finding City to be in conformance with the Congestion Management Program (CMP) and adopting the CMP Local Development Report, in accordance with California Government Code Section 65089.

Staff Recommendation:

- 1) City Council open the public hearing and consider public testimony; close public hearing; and
- 2) Adopt Resolution No. 15-7385, finding City to be in Conformance with the Congestion Management Program (CMP) and adopting the CMP Local Development Report, in accordance with California Government Code Section 65089.

Report: [Congestion Management Program](#)

PH 2. City Council to conduct a public hearing to consider Tentative Tract Map (TTM) 73397 and Conditional Use Permit (CUP) 15-010 for a proposed conversion of the existing 23-unit, 3-story apartment complex to for sale condominium units (not involving any new development) on approximately 1.1 acre site at 501-521 North Lark Ellen Avenue – APN: 8434-001-006.

Staff recommendation:

- 1) City Council open public hearing, consider public testimony, close the public hearing; and
- 2) Adopt Resolution No. 15-7387, approving Tentative Tract Map (TTM) 73397 and Conditional Use Permit (CUP) 15-010 to convert the existing 23-unit, 3-story apartment complex to for-sale condominium units on approximately 1.1 acre site, and
- 3) Determine that the proposed condominium conversion would be categorically exempt in accordance with Section 15301 (k), Class 1 of the California Environmental Quality Act Guidelines.

Report: [CUP 15-010](#)

CONTINUED BUSINESS

No matters scheduled.

NEW BUSINESS

No matters scheduled.

ADJOURNMENT

The Covina City Council/Successor Agency to the Covina Redevelopment Agency/Covina Public Finance Authority/Covina Housing Authority will adjourn to its next regular meeting of the Council/Agency/Authority scheduled for Tuesday, September 1, 2015, at 6:30 p.m. for closed session and 7:30 p.m. for open session inside the Council Chamber, 125 East College Street, Covina, California, 91723

Any member of the public may address the Council/Agency/Authority during both the public comment period and on any scheduled item on the agenda. Comments are limited to a maximum of five minutes per speaker unless, for good cause, the Mayor/Chairperson amends the time limit. Anyone wishing to speak is requested to submit a yellow Speaker Request Card to the City Clerk; cards are located near the agendas or at the City Clerk's desk.

MEETING ASSISTANCE INFORMATION: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (626) 384-5430. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

If you challenge in court any discussion or action taken concerning an item on this agenda, you may be limited to raising only those issues you or someone else raised during the meeting or in written correspondence delivered to the City at or prior to the City's consideration of the item at the meeting.

The Covina City Clerk's Office does hereby declare that, in accordance with California Government Code Section 54954.2(a), the agenda for the **August 18, 2015** meeting was posted on **August 13, 2015** on the City's website and near the front entrances of: 1) Covina City Hall, 125 East College Street, Covina; 2) the Covina Public Library, 234 N. Second Avenue, Covina; and 3) the Joslyn Center, 815 N. Barranca Avenue, Covina.

MATERIALS RELATED TO AN ITEM ON THIS AGENDA, AND SUBMITTED TO THE CITY COUNCIL AFTER PUBLICATION OF THE AGENDA, ARE AVAILABLE TO THE PUBLIC IN THE CITY CLERK'S OFFICE AT 125 E. COLLEGE STREET, COVINA.

DRAFT MINUTES



ITEM NO. CC 1

MINUTES OF JULY 7, 2015

REGULAR MEETING OF THE COVINA CITY COUNCIL/SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT AGENCY /COVINA PUBLIC FINANCING AUTHORITY/COVINA HOUSING AUTHORITY HELD IN THE COUNCIL CHAMBER OF CITY HALL, 125 EAST COLLEGE STREET, COVINA, CALIFORNIA

CALL TO ORDER

Mayor King called the Council/Agency/Authority meeting to order at 6:30 p.m., with all Council Members present except Council Member Delach who had an excused absence. Closed session items were announced. There were no public speakers.

ROLL CALL

Council Members Present: ALLEN, KING, MARQUEZ, STAPLETON

Council Members Absent: DELACH

Elected Members Present: COBBETT, WALCZAK

Staff Members Present: City Manager Miller, Police Chief Raney, Acting Assistant Fire Chief Enriquez, Human Resources Director Tellez, Acting, Interim Finance Director Michicoff, Community Development Director Lee, Community Development Consultant Fong, Parks and Recreation/Library Director Hall-McGrade, Public Works Director Foster, Environmental Services Manager Castro, Senior Housing & CDBG Economic Development Manager Gasser, City Planner Carter, Electronic Resource Analyst Kadir, and Chief Deputy City Clerk Leach.

CLOSED SESSION

City Manager Miller requested an emergency closed session item be added to the agenda which necessitates Council direction and requires action before Thursday.

City Attorney Lee indicated that this addition requires that all Council Members vote yes in order for item to be added to the closed session agenda. The item to be added follows:

G.C. §54957.6 – CONFERENCE WITH LABOR NEGOTIATORS

City designated representatives: Andrea Miller, City Manager, Kim Raney, Police Chief, Danielle Tellez, Human Resources Director

Employee Organization: American Federation of State, County and Municipal Employees (AFSCME)

On a motion made by Council Member Allen, seconded by Mayor Pro Tem Stapleton, the City Council approved adding emergency closed session item to the agenda which necessitates Council direction and required action before Thursday.

Motion approved to add emergency closed session as listed above as follows:

AYES: ALLEN, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: DELACH

- A. G.C. §54956.9(d)(2) and 54956.9(d)(4) –
CONFERENCE WITH LEGAL COUNSEL: SIGNIFICANT EXPOSURE TO LITIGATION
Number of Potential cases: 1 (one)
A point has been reached where, in the opinion of the City Council on the advice of its legal counsel, based on existing facts and circumstances, there is a significant exposure to litigation against the City regarding the Los Angeles Regional Water Quality Control Board's 2012 MS4 Permit. On June 16, 2015, the State Water Board adopted a final order resolving the petitions for review of the 2012 Los Angeles MS4 Permit (“Permit”). Various environmental groups have suggested that they believe parts of the Permit violate legal provisions of the federal Clean Water Act. The City Council will consider authorizing the defense of any actions brought to challenge the Permit (as modified by the final order) and whether to initiate litigation in connection with the Permit.

RECONVENE AND CALL TO ORDER

The City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority/Housing Authority meeting was called to order at 7:33 p.m.

Mayor King announced that all Council Members were present with the exception of Council Member Delach.

City Attorney Lee announced that the City Council/Agency/Authority met in closed session with all members present with the exception of Council Member Delach. She added there was no reportable action related to closed session items and that direction was given to staff.

PLEDGE OF ALLEGIANCE

Council Member King led the pledge of allegiance.

INVOCATION

Covina Police Chaplain Dave Truax gave the invocation.

PRESENTATIONS

Miss Covina rescheduled for July 21, 2015.

PUBLIC COMMENTS

Abdali Martinez spoke on behalf of Assembly Member Roger Hernandez inviting Council to two events: 1)“Senior Scam Stopper” which will take place July 31st from 10 a.m. to 12 p.m. at the Duarte Senior Center; and 2)“Covina Community Coffee” taking place at the Covina Library on August 29th.

Covina resident Leonard Rose spoke about what is happening on YouTube regarding military training. He urged everyone to pray for the nation. He also expressed his excitement in his church obtaining a new assistant pastor -- Pastor Travis.

Adrian Garcia, Region Manager Local Public Affairs, Southern California Edison introduced himself as the new Covina representative replacing Ben Wong. He added that he was looking forward to working with the City of Covina and distributed his business cards.

COUNCIL/AGENCY/AUTHORITY COMMENTS

Mayor King asked everyone to join him in congratulating Council Member Marquez on his recent marriage.

Council Member Marquez said he was very happy to report that Covina gained one new resident -- his new wife.

Council Member Allen congratulated Council Member Marquez saying he was very happy for him. He also thanked Mayor Pro Tem Stapleton for assisting with flipping pancakes on the 4th of July at Covina Park and reported on a speech he made at the Mormon Church on the 4th of July. He also commented on SB128 which deals with physician assisted suicide, indicating he prays it does not go through.

Mayor Pro Tem Stapleton also commented on the 4th of July pancake breakfast being a very enjoyable event and a great fundraiser. He added that he would like to see a picnic added next year. He congratulated the United States Women’s soccer team on their recent victory adding it was a great event. He concluded by requesting that this meeting be adjourned in memory of Covina Police Officer Scott Hansen -- July 3rd marking the 9th anniversary of his passing.

Mayor King agreed with adjourning in memory of Officer Scott Hansen indicating that the same will be done for Officer Jordan Corder. He thanked Mayor Pro Tem Stapleton for reminding the community of the anniversary of Officer Hansen’s passing. He also welcomed the new Covina business -- Yellow Yoga to the community and mentioned that Council Member Marquez attended their grand opening.

Mayor King reported that the Big Night Out, Taste of Covina was phenomenal. He congratulated Dawn Nelson and the Covina Chamber of Commerce on their success and thanked the restaurants for their participation. He also announced that several patriotic events happened over the weekend including an event at Christ First Baptist Church which featured Admiral Vernon Clark. Admiral Clark spoke on what it means to be an American and the true meaning of Independence Day. Mayor King indicated his speech was fascinating and dynamic. He added that the Admiral is a great man and a public servant. Mayor King also reported on the success of HH Dorje Chang Buddha III Cultural and Art Museum one year anniversary event which was well attended.

Mayor King encouraged everyone to attend the following events: 1) Covina Park Summer Evening Entertainment events; 2) Summer's End Concert & Car Show scheduled for Saturday, August 1st; and 3) Covina Chamber of Commerce quarterly e-waste event scheduled for Friday, July 17th and Saturday, July 18th from 9 a.m. - 4 p.m. at Smart & Final, 114 North Azusa Avenue.

CITY MANAGER COMMENTS

City Manager Miller reported that Item CC 12 would be removed from the agenda to allow staff the opportunity to make minor changes to the report. She added that this item will be brought back to Council at the next meeting.

CONSENT CALENDAR

- CC 1.** City Council approved the minutes from the May 21, 2015 Special Budget Workshop meeting of the City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority/Housing Authority.
- CC 2.** City Council approved the minutes from the June 2, 2015 Regular meeting of the City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority/Housing Authority.
- CC 3.** City Council approved the payment of demands in the amount of \$1,734,822.01.
- CC 4.** Successor Agency to the Redevelopment Agency received payment of demands in the amount of \$6,376.50.
- CC 5.** City Council authorized the City Manager to Execute a one-year Contract Extension with Diversified Transportation LLC., (previously DBA as Tectrans Inc.), for Covina Transit Operations Services.
- CC 6.** City Council/Housing Authority/Successor Agency to the Covina Redevelopment Agency approved the following:
 - a) Agreement for services to be provided at the Transitional House between the City of Covina, the Successor Agency to the Covina Redevelopment Agency, the Covina Housing Authority and Catholic Charities of Los Angeles, Inc. for FY 2015-2016;
 - b) Authorized City Manager/Executive Director or her designee to execute the Agreement for Services to be provided at the McGill Street House, Covina, FY 2015-2016, for the Transitional House operation, supportive and administrative services with Catholic Charities of Los Angeles, Inc. (CCLA), and approve authority to make any necessary changes to align the CCLA FY 15-16 contract with the FY 15-16 LASHA agreement as needed; and
 - c) Approved disbursements to CCLA for services under the Continuum of Care (CoC) grant in the interim period of operation in FY 15-16 before the LAHSA grant is executed.

- CC 7.** City Council approved the following:
- a) Adopted **Resolution No. 15-7372**, ordering the City's Licensed Engineer to prepare and file a report levying assessments within the "Covina Landscaping District No. 1" for the 2015-2016 fiscal year; and
 - b) Adopted **Resolution No. 15-7373**, approving the City Engineer's Report and declaring its intention to levy and collect assessments on the "Covina Landscaping District No. 1" for the 2015-2016 fiscal year and appointing a time and place for hearing protests in relation thereto.
- CC 8.** City Council approved the following:
- a.) Adopted **Resolution No. 15-7370**, ordering the City's Licensed Engineer to prepare and file a report levying assessments within the "Covina Lighting District No. 1978-1979" for the 2015-2016 fiscal year; and
 - b.) Adopted **Resolution No. 15-7371**, approving the City Engineer's Report and declaring its intention to levy and collect assessments on the "Covina Lighting District No. 1978-1979" for the 2015-2016 fiscal year: and appointing a time and place for hearing protests in relation thereto.
- CC 9.** City Council received and filed the Engineer's report and adopted **Resolution No. 15-7369**, declaring its intention to levy and collect assessments on "Vehicle Parking District No. 1" for the fiscal year 2015-2016 and appoint a time and place for hearing protests in relation thereto.
- CC 10.** City Council approved the following:
- a) Approved award bid for improvements at intersection of Workman Street and Hollenbeck Avenue, Project No. T-1407, to Palp, Incorporated DBA Excel Paving Company as the lowest responsive and responsible bidder in the amount of \$226,214; and
 - b) Adopted **Resolution No. 15-7367**, appropriating \$248,835 in available Measure R Fund balance to fiscal year 2015-16 budget and allocating those funds to the Transit Capital Projects budget Transportation Improvements for expenditure; and
 - c) Authorized the City Manager or her designee to approve change orders up to \$22,621 (10 percent of construction contract value) for a cumulative project cost not to exceed \$248,835.
- CC 11.** City Council authorized the City Manager or her designee to execute a one-year contract extension with Moore and Associates for the Covina Transit User Study, Procurement Assistance and System Marketing.
- CC 13.** City Council authorized the Department of Public Works to purchase of 100 acre feet of transfer water from Covina Irrigating Company in Fiscal Year 2014-15 at a transfer rate of \$250/AF for a not to exceed cost of \$25,000.
- CC 14.** City Council approved amendment to agreement for Parking Enforcement Services between the City of Covina and Inter-Con Security Systems and authorized the City Manager to execute amendment.

CC 15. City Council adopted **Resolution No. 15-7374** designating voting delegate and alternate(s) for the 2015 League of California Cities Annual Conference.

CC 16. City Council approved the following:

- a) Change Order Nos. 16, 19, 20, and 21 for Project T-0814B Metrolink Station Improvements, increasing the construction contract by a total of \$13,306; and
- b) Adopted **Resolution No. 15-7368** appropriating \$130,744 in available Measure R Fund balance (account no. 2410-0000-3000), and increasing the fiscal year 2014-15 Capital Projects Fund budget (account no. 4300-4350-55200-T-0814B) in the amount of \$130,744; and
- c) Authorized the City Manager or her designee to execute the approved change orders.

On a motion made by Mayor Pro Tem Stapleton, seconded by Council Member Marquez the City Council approved Consent Calendar items CC 1 through CC 6; CC 9 through CC 11; and CC 13 through CC 16. Consent Calendar item CC 12 was removed from the agenda to be considered at the next meeting, and CC 7 and CC 8 were removed from the agenda for further discussion and consideration.

Motion approved the Consent Calendar items CC 1 through CC 6; CC 9 through CC 11; and CC 13 through CC 16 as follows:

AYES: ALLEN, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: DELACH

CONSENT CALENDAR ITEMS REMOVED FOR DISCUSSION/CONSIDERATION

Council Member Marquez requested this to be pulled for further discussion. He indicated that he had voted for this previously; however, did not feel improvements to the district had been made this past year.

City Manager Miller stated that staff is looking at all districts and Council should rest assured that she and Public Works Director Foster are looking to create a 10 year improvement plan for this district.

Mayor Pro Tem Stapleton indicated he would be abstaining from CC 7 and CC 8.

CC 7. City Council considered the following:

- a) Adopt **Resolution No. 15-7372**, ordering the City’s Licensed Engineer to prepare and file a report levying assessments within the “Covina Landscaping District No. 1” for the 2015-2016 fiscal year; and
- b) Adopt **Resolution No. 15-7373**, approving the City Engineer’s Report and declaring its intention to levy and collect assessments on the “Covina Landscaping District No. 1” for the 2015-2016 fiscal year and appointing a time and place for hearing protests in relation thereto.

On a motion made by Council Member Marquez, seconded by Council Member Allen, the City Council approved Consent Calendar item CC 7, thereby adopting **Resolution No(s) 15-7372** and **15-7373**.

Motion carried for Consent Calendar item CC 7 as follows:

AYES: ALLEN, KING, MARQUEZ
NOES: NONE
ABSTAIN: STAPLETON
ABSENT: DELACH

CC 8. City Council considered the following:

- a.) Adopt **Resolution No. 15-7370**, ordering the City’s Licensed Engineer to prepare and file a report levying assessments within the “Covina Lighting District No. 1978-1979” for the 2015-2016 fiscal year; and
- b.) Adopt **Resolution No. 15-7371**, approving the City Engineer’s Report and declaring its intention to levy and collect assessments on the “Covina Lighting District No. 1978-1979” for the 2015-2016 fiscal year: and appointing a time and place for hearing protests in relation thereto.

On a motion made by Council Member Allen, seconded by Council Member Marquez, the City Council approved Consent Calendar item CC 8, thereby adopting **Resolution No(s) 15-7370** and **15-7371**.

Motion carried for Consent Calendar item CC 8 as follows:

AYES: ALLEN, KING, MARQUEZ
NOES: NONE
ABSTAIN: STAPLETON
ABSENT: DELACH

PUBLIC HEARING

PH1. City Council conducted a public hearing to consider **Resolution No. 15-7375** authorizing annexation of territory to City of Covina Community Facilities District No. 2007-1 (Public Services) (Annexation No. 8), and **Resolution No. 15-7376** calling and **Resolution No. 15-7377** holding a special election 269-275 W. Center Street).

City Manager Miller provided a brief overview of this item indicating Community Development Director Lee would provide the staff report.

Community Development Director Lee stated that a request has been made to annex territory to the City of Covina Community Facilities District No. 2007-1. He gave a brief background of the project along with the fiscal impact of the project. He indicated the territory to be annexed is located on the north east corner of Center Street and 4th Avenue and includes the construction of eight apartments and the removal of the existing single family unit residence. He added that the special tax being imposed will be used to pay for a variety of services in the District.

City Clerk Walczak noted that notice of public hearing was given in accordance with the Mello-Roos Community Facilities of 1982 and that no written protests had been received from the landowners within the annexation area, therefore a majority protest does not exist.

Mayor King opened the Public Hearing and called for public comment. There was no public comment.

Mayor King inquired and City Clerk Walczak responded that 100 percent of the consent and waivers have been received and the Special Election can be held.

Mayor King stated because a majority protest does not exist, it is appropriate for the City Council to consider resolutions regarding the annexation of territory and to call a special election within the annexation area.

On a motion made by Mayor Pro Tem Stapleton, seconded by Council Member Allen, the City Council adopted **Resolution No. 15-7375**, authorizing the annexation of territory to Community Facilities District No. 2007-1 (Annexation No. 8) and authorizing the levy of a special tax and submitting the levy of tax to the qualified electors; and to adopt **Resolution No. 15-7376**, calling a special election and submitting to the voters Annexation No. 8 of City of Covina Community Facilities District No. 2007-1 (Public Services), propositions regarding the annual levy of special taxes within Annexation No. 8 to finance Public Services, and the establishment of an appropriations limit.

Motion carried and Resolution No(s). 15-7375 and 15-7376 were adopted as follows:

AYES: ALLEN, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: DELACH

Mayor King inquired and City Clerk Walczak confirmed she had received the ballots from the landowners in the annexation area.

Mayor King asked if there were any further ballots to be submitted to the City Clerk. There being none, Mayor King requested that City Clerk Walczak proceed to canvass the ballots.

City Clerk Walczak reported the canvass on Proposition A was as follows: **one (1) vote cast in support** of the proposition and zero votes cast in opposition to the proposition. Therefore, **Proposition A was approved with a 100 percent vote in favor.**

City Clerk Walczak reported the canvass on Proposition B was as follows: **one vote cast in support** of the proposition and zero votes cast in opposition to the proposition. Therefore, **Proposition B was approved with 100 percent vote in favor.**

Mayor King requested a motion to close the public hearing. On a motion made by Council Member Marquez, seconded by Council Member Allen the public hearing was closed by the following roll call vote:

Motion carried to close the public hearing as follows:

AYES: ALLEN, KING, MARQUEZ
NOES: STAPLETON
ABSTAIN: NONE
ABSENT: DELACH

On a motion made by Mayor Pro Tem Stapleton, seconded by Council Member Allen, the City Council adopted **City Resolution No. 15-7377**, making certain findings, certifying the results of an election and adding property to Community Facilities District No. 2007-1 (Public Services), Annexation No. 8.

Motion carried and Resolution No. 15-7377 was adopted as follows:

AYES: ALLEN, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: DELACH

NEW BUSINESS

NB 1. City Council considered consolidating agreements and renewing Professional Services Contract with Willdan Financial Services for Special District Administrative Services, Bond Disclosure Service, and Community Facilities District Annexation Services.

City Manager Miller reported that staff is attempting to look at all agreements to create efficiencies by consolidating efforts and also identifying potential new service providers. She added that Community Development Director Lee will provide a report regarding consolidating the existing professional services contracts into one contract with Willdan Financial.

Community Development Director Lee reported on the proposal to consolidate several existing professional service agreements into a single agreement. Items that would fall within scope would be: 1) Community Facilities District Administration; 2) Vehicle Parking District Administration; 3) Sewer District Administration; 4) Landscape Maintenance District Administration; 5) Lighting District Administration; 6) 2009 Wasterwater Revenue Bonds Continuing Disclosure; and 7) 2010 Water Revenue Bonds Continuing Disclosure. He stated that the cost over a three-year period to provide these services will be approximately \$86,000. In addition, Willdan Financial Services will provide Community Facilities District Annexation services.

On a motion made by Mayor Pro Tem Stapleton, seconded by Council Member Allen, the City Council approved consolidating and renewing agreements with Willdan Financial Services (Willdan) for Special District Administrative Services in conjunction with the City's Sanitary Sewer, Vehicle Parking, Landscape Maintenance, Lighting Maintenance Districts, Bond Disclosure Service, Community Facilities District Administration, and Community Facilities

District Annexation Services, and authorized the City Manager or her designee to execute the agreement.

Motion carried for New Business item NBI as follows:

AYES: ALLEN, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: DELACH

City Manager Miller gave special recognition to Interim Chief Deputy City Clerk Evelyn Leach for the terrific job she did with creating a table of contents for the City of Covina City Council agenda packet. She added that she has received multiple comments of praise from Council, staff, and the community.

Council Member Allen thanked Environmental Services Manager Castro for the great job in responding to a resident's question asking "Are we being green enough?" He added that he hopes the resident will understand that we are making every effort to be as green as possible by conserving water and power.

Mayor King added that the letter written by Environmental Services Manager Vivian Castro is a great testimony to all the great work being done by city staff.

ADJOURNMENT

At 8:20 p.m., the Covina City Council/Successor Agency to the Covina Redevelopment Agency/Covina Public Financing Authority/Covina Housing Authority adjourned in memory of fallen Covina Police Officer Scott Hansen, to its next regular meeting of the Council/Agency/Authority on **Tuesday, July 21, 2015** at 6:30 p.m., for closed session and 7:30 p.m., for open session in the Council Chamber located inside of City Hall, 125 East College Street, Covina, California, 91723.

Respectfully Submitted:

Evelyn C Leach, MMC
Interim Chief Deputy City Clerk

Approved this 18th day of August 2015:

John C. King, Mayor/Chairperson

DRAFT MINUTES**MINUTES OF JULY 21, 2015**

REGULAR MEETING OF THE COVINA CITY COUNCIL/SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT AGENCY /COVINA PUBLIC FINANCING AUTHORITY/COVINA HOUSING AUTHORITY HELD IN THE COUNCIL CHAMBER OF CITY HALL, 125 EAST COLLEGE STREET, COVINA, CALIFORNIA

CALL TO ORDER

Mayor King called the Council/Agency/Authority meeting to order at 6:30 p.m. All City Council Members were present. The closed session items were announced. There were no public comments.

ROLL CALL

Council Members Present: ALLEN, DELACH, KING, MARQUEZ, STAPLETON

Council Members Absent: NONE

Elected Members Present: COBBETT, WALCZAK

Staff Members Present: City Manager Miller, City Attorney Lee, Police Chief Raney, Police Captain Povero, L.A. County Acting Assistant Fire Chief Enriquez, Public Works Director Foster, City Planner Carter, Assistant to the City Manager Carrillo, Human Resources Director Tellez, Environmental Services Manager Castro, Electronic GIS Technician Knox, Interim Chief Deputy City Clerk Leach, Administrative Technician Alvarez.

CLOSED SESSION – The City Council/Successor Agency to the Covina Redevelopment Agency/Covina Public Financing Authority/Covina Housing Authority adjourned to closed session for the following:

- A. G.C. §54956.8 – CONFERENCE WITH REAL PROPERTY NEGOTIATORS
Property: 800 North Banna (APN: 842-7003-901)
Agency negotiator: Andrea Miller, City Manager
Negotiating parties: Charter Oak Unified School District representative
Under negotiation : Negotiations to include both price and terms of payment
- B. G.C. §54957.6 – CONFERENCE WITH LABOR NEGOTIATORS
City designated representatives: Andrea Miller, City Manager, Kim Raney, Police Chief, Danielle Tellez, Human Resources Director
Employee Organization: American Federation of State, County and Municipal Employees (AFSCME)
- C. G.C. §54957.6 – CONFERENCE WITH LABOR NEGOTIATORS
City designated representatives: Andrea Miller, City Manager, Kim Raney, Police Chief, Danielle Tellez, Human Resources Director
Unrepresented Employees

RECONVENE AND CALL TO ORDER

The City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority/Housing Authority meeting was called to order at 7:40 p.m. Mayor King apologized for Council arriving late from closed session.

Mayor King announced that all Council Members were present.

City Attorney Lee announced that the City Council/Agency/Authority met in closed session with all members present. There were no reportable actions related to closed session items A, B, and C and that direction was given to staff.

PLEDGE OF ALLEGIANCE

Mayor Pro Tem Stapleton led the pledge of allegiance.

INVOCATION

Covina Police Chaplain Dave Truax gave the invocation.

PRESENTATIONS –

Miss Covina – Vivian Tang

Katrina Moramarco, Executive Director of the Miss Covina Scholarship Organization provided a PowerPoint presentation which gave an overview of the Miss California Pageant 2015 in which she showcased the reigning Miss Covina Vivian Tang. She thanked the sponsors, McIntyre Properties, Covina Valley Kia, and Crestview Cadillac for their support and acknowledged Miss Tang for her achievements which included obtaining a \$2,500 scholarship, a Preliminary Talent Award, and a Leni Arnhy Award. Miss Tang was also recognized for being in the top 15 out of 53 contestants in the Miss California Pageant 2015.

Miss Tang thanked City Council for their support and shared her gratitude and appreciation for the opportunities given to her through the Miss Covina Scholarship Organization.

Mayor King congratulated Miss Tang on behalf of the City Council and presented her with a beautiful bouquet of flowers. He said they could not be more proud of her hard work and dedication.

Proclamation – National Night Out

Mayor King proclaimed August 4, 2015 as National Night Out in the City of Covina and called upon all citizens to join the National Association of Town Watch in supporting the City's 32nd National Night Out. The Proclamation was presented to Police Chief Raney.

Police Chief Raney thanked the Mayor for the Proclamation adding that he anticipates a great night where law enforcement and the community join together. He stated that if anyone in the community would like to host an event they should contact the Crime Prevention Unit at the Covina Police Department.

PUBLIC COMMENTS

Leonard Rose Jr. discussed the Back to School Blast that will take place on Friday, August 7, 2015. He spoke of his personal spiritual growth and requested prayers for the nation and its salvation.

Vivian Moreno a resident from Riverside and owner of the blog “Thirty Miles of Corruption” introduced herself to City Council. She requested an appointment with Public Works Director Foster regarding a toxic waste spill that took place in Riverside during 2003.

Jason Hunter spoke regarding the work history of Public Works Director Foster.

Anita Senteno, a Covina resident expressed her concern regarding the pavement of streets in her residential area.

Mayor King responded indicating that under Public Director Foster’s guidance the city is in the process of establishing a paving and renewal project.

City Manager Miller advised that the City of Covina is in the process of repaving streets in the order of need. She informed Ms. Senteno that she will be contacted in order to schedule a site inspection to determine the need of priority and to provide a solution.

COUNCIL/AGENCY/AUTHORITY COMMENTS

Council Member Delach reported on the Three Valleys Municipal Water District 65th anniversary celebration that she attended in Claremont. She said Three Valleys is still pushing water conservation and begging for everyone’s cooperation. She reminded everyone of the severe water shortage and requested that caution be observed when using water.

Council Member Allen complimented the Parks & Recreation Department for hosting a successful “Kids Night Out” event at Covina Park. He also complimented the work performance of Public Works Director Foster.

Mayor King asked to adjourn this meeting in memory of Andy Bargaehr who passed away on July 14, 2015.

Mayor King announced the following events: 1) Covina Park Summer evening entertainment; Monday night concerts, Tuesday night movies, Wednesday night church bands, and Thursday night concert bands; 2) Summer’s End Concert & Car Show, Saturday, August 1st; which supports the Yellow Ribbon Committee and local food banks; and 3) Free Smart Gardening Workshop Saturday, August 8, 2015 from 9:30 a.m. to 11 a.m. at Charter Oak Park.

CITY MANAGER COMMENTS

City Manager Miller made note of a correction that was to be made to Consent Calendar item CC 4. There was a typo in the amount listed as \$777,975.24 and needs to read as \$77,975.24.

CONSENT CALENDAR

- CC 1. City Council approved the minutes from the June 16, 2015 Regular meeting of the City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority.
- CC 2. City Council approved the minutes from the June 23, 2015 Regular Adjourned meeting of the City Council/Successor Agency to the Covina Redevelopment Agency/Public Financing Authority.
- CC 3. City Council approved the payment of demands in the amount of \$3,174,482.53.
- CC 4. Successor Agency to the Redevelopment Agency received payment of demands in the amount of \$77,975.24.
- CC 5. City Council approved **Resolution No. 15-7379** to amend previously approved budget appropriation for the purchase of a new Computer Aided Dispatch/Record Management System (CAD/RMS) for the Covina Police Department.
- CC 6. City Council approved **Resolution No. 15-7380** authorizing the Police Department to spend over \$25,000, not to exceed \$50,000 without further Council approval, for equipment and services by Black and White Emergency Vehicles.
- CC 7. City Council approved Professional Services Agreement with Black and White Emergency Vehicles, and authorized the City Manager to execute.
- CC 8. City Council adopted **Resolution No. 15-7378** amending the Fiscal Year 2015-16 budget in the Waste Management fund and authorized the City Manager to execute Professional Services Agreement (PSA) with HF&H Consultants LLC (HF&H) for waste management consulting services.
- CC 9. City Council approved acceptance of Notice of Completion of Public Works Project No. F-1414: Energy Efficiency Design-Build Contract for Citywide Lighting Upgrade.
- CC 10. City Council approved payments to Covina Irrigating Company Shareholders for Fiscal Year 201516 Stock Leases in an amount not to exceed \$73,506.72.
- CC 11. City Council considered a fee waiver for the Project 29:11 Back-to-School Blast event scheduled for August 7, 2015.
- CC 12. City Council approved the Third Amendment to the Professional Services Agreement with Interwest Consulting Group, Inc. for professional planning services, and authorized the City Manager to execute.

On a motion made by Council Member Allen, seconded by Council Member Marquez the City Council approved Consent Calendar items CC 1 through CC 12.

Motion approved the Consent Calendar items CC 1 through CC 12 as follows:

AYES: ALLEN, DELACH, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

PUBLIC HEARING

PH 1. City Council to conduct a public hearing to consider adoption of a resolution confirming the Engineer's report dated July 7, 2015, and ordering levying and collection of assessments for Covina Lighting District No. 1978-79 for fiscal year 2015-2016.

Mayor King opened the public hearing. There was no public comment; therefore, Mayor King closed the public hearing.

On a motion made by Council Member Allen, seconded by Council Member Marquez the City Council adopted **Resolution No. 15-7381**, confirming the Engineer's report dated July 7, 2015, and ordering the levying and collection of assessments on the Covina Lighting District No. 1978-1979 for fiscal year 2015-2016.

Motion carried for Public Hearing item PH 1 as follows:

AYES: ALLEN, DELACH, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

PH 2. City Council to conduct a public hearing to consider adoption of a resolution confirming the Engineer's report dated July 7, 2015, and ordering levying and collection of assessments for Covina Landscaping District No. 1 for fiscal year 2015-2016.

Mayor King opened the public hearing.

City Clerk Walczak stated one protest had been received regarding Covina Landscaping District No. 1 from Mr. Bob Low.

Mayor King called for public comment. There was no public comment; therefore, Mayor King closed the public hearing.

On a motion made by Council Member Delach, seconded by Council Member Allen City Council adopted **Resolution No. 15-7382**, confirming the Engineer's report dated July 7, 2015, and ordering the levying and collection of assessments within Covina Landscaping District No. 1 for fiscal year 2015-2016.

Motion carried for Public Hearing item PH 2 as follows:

AYES: ALLEN, DELACH, KING, MARQUEZ
NOES: STAPLETON
ABSTAIN: NONE
ABSENT: NONE

PH 3. City Council to conduct a public hearing and consider adoption of a resolution for the levying and collection of assessments for the Vehicle Parking District No. 1 for the fiscal year 2015-2016.

Mayor King opened the public hearing. There was no public comment; therefore, Mayor King closed the public hearing.

On a motion made by Council Member Allen, seconded by Council Member Marquez City Council adopted **Resolution No. 15-7383** approving the Engineer’s Report for levying assessment on the Vehicle Parking District No. 1 for fiscal year 2015-16; and adopted **Resolution No. 15-7384** confirming the Engineer’s report dated July 7, 2015, ordering the levying and collection of assessments for “Vehicle Parking District No. 1” for the fiscal year 2015-2016.

Motion carried for Public Hearing item PH 3 as follows:

AYES: ALLEN, DELACH, KING, MARQUEZ
NOES: STAPLETON
ABSTAIN: NONE
ABSENT: NONE

CONTINUED BUSINESS - No matters scheduled.

NEW BUSINESS

NB 1. City Council considered establishing a Water Conservation Target of 28 percent. With the following recommendations:

- 1) City Council establish water conservation target of 28 percent;
- 2) Authorize City Manager to declare a Level 2 water supply shortage and implement Level 2 Water Supply Shortage Measures as contained in Covina Municipal Code (CMC) Chapter 13.06 (Water Conservation);
- 3) Authorize the City Manager to reallocate \$11,467 within the Department of Public Works approved fiscal year 2015-16 budget from Water Utility – Production and Storage – Licenses and Taxes (account no. 6010-5060-53600) to Water Utility – Transmission and Distribution – Small Tool and Minor Equipment (account no. 6010-5080-54850) and purchase of one 1,000-gallon water trailer from United Rentals at a cost not to exceed \$11,467; and
- 4) Direct the Department of Public Works to return with additional water conservation proposals if sufficient progress towards conservation target is not achieved.

City Manager Miller reported that this item is a request for Council to 1) Establish a Water Conservation Target of 28 percent; 2) Authorize the City Manager to declare a Level 2 water supply shortage and implement Level 2 Water Supply Shortage Measures as contained in Covina Municipal Code (CMC); 3) Authorize the City Manager to reallocate funding within the Department of Public Works to fund these projects; and 4) Direct the Department of Public Works to return with additional water conservation proposals as necessary. She added that Public Works Director Sioban Foster would be presenting the report to Council and that any questions Council may have would be answered by either herself or Public Works Director Foster.

Public Works Director Foster provided Council with a comprehensive PowerPoint presentation explaining the request to establish a Water Conservation Target of 28 percent.

City Manager Miller clarified that with respect to Item #3, staff is requesting approval to reallocate existing funds (within the adopted budget) not authorization of additional funding.

Questions and discussion followed.

On a motion made by Council Member Marquez, seconded by Council Member Allen the City Council approved New Business item NB 1 as follows: 1) Establishing Water Conservation Target of 28 percent.; 2) Authorizing the City Manager to declare a Level 2 water supply shortage and implement Level 2 Water Supply Shortage Measures as contained in Covina Municipal Code (CMC) Chapter 13.06 (Water Conservation); 3) Authorizing the City Manager to reallocate \$11,467 within the Department of Public Works approved fiscal year 2015-16 budget from Water Utility – Production and Storage – Licenses and Taxes (account no. 6010-5060-53600) to Water Utility – Transmission and Distribution – Small Tool and Minor Equipment (account no. 6010-5080-54850) and purchase of one 1,000-gallon water trailer from United Rentals at a cost not to exceed \$11,467; and 4) Direct the Department of Public Works to return with additional water conservation proposals if sufficient progress towards conservation target is not achieved.

Motion carried for New Business item NB 1 as follows:

AYES: ALLEN, DELACH, KING, MARQUEZ, STAPLETON
NOES: NONE
ABSTAIN: NONE
ABSENT: NONE

Mayor King wished Geoff Cobbett, City Treasurer a Happy Birthday and thanked him for attending this meeting on his birthday.

ADJOURNMENT

At 8:39 p.m., the meetings of the Covina City Council/Successor Agency to the Covina Redevelopment Agency/Covina Public Finance Authority/Covina Housing Authority were adjourned in Memory of Andy Bargaehr who passed away on July 14, 2015.

The regular meeting scheduled for **Tuesday, August 4, 2015 will not be held due to “National Night Out”** which will be held on the same date. This meeting is; therefore, adjourned to the **Strategic Planning Sessions which will be held at 3 p.m. on Wednesday, August 12, 2015, and Tuesday, August 18, 2015, at the Covina Center for the Performing Arts, 104 N. Citrus Avenue, Covina.**

The next regular meeting of the Council/Agency/Authority scheduled for **Tuesday, August 18, 2015**, at 6:30 p.m. for closed session and 7:30 p.m. for open session inside the Council Chamber, 125 East College Street, Covina, California, 91723.

Respectfully Submitted:

Evelyn C. Leach, MMC
Interim Chief Deputy City Clerk

Approved this 18th day of August 2015:

John C. King, Mayor/Chairperson



CITY OF COVINA
AGENDA ITEM COMMENTARY

MEETING DATE August 18, 2015

ITEM NO. CC 3

STAFF SOURCE John Michicoff, Interim Finance Director

A handwritten signature in black ink, appearing to be "J. Michicoff".

ITEM TITLE Payment of Demands

STAFF RECOMMENDATION

Approve Payment of Demands in the amount of **\$4,398,014.34**.

FISCAL IMPACT

Sufficient funding is available and the related costs are included in the Fiscal Year 14/15 and 15/16 Adopted Budgets.

BACKGROUND

Attached is a list of warrants and demands which are being presented for approval and are summarized as follows:

<u>DATE OF DEMANDS</u>	<u>DEMAND NUMBERS</u>	<u>AMOUNT</u>
ACCOUNTS PAYABLE WARRANTS		
July 3 - July 30, 2015	Wires/EFTs 4987-4997	\$37,594.35
	Checks 75123-75713	\$2,791,193.02
<u>PAYROLL</u>		
July 16, 2015 Gross Payroll & Taxes		\$609,989.92
July 22, 2015 Gross Payroll & Taxes		\$179,620.66
3rd Qtr Retiree Medical 7/30/15		\$68,569.70
July 30, 2015 Gross Payroll & Taxes		\$655,940.67
<u>VOIDS</u>		
July 3 - July 30, 2015	6/30/15 75050	(\$1,971.29)
	6/30/15 75027	(\$357.10)
	6/22/15 74876	(\$8,480.39)
<u>WORKERS COMPENSATION</u>		
July 8, 2015		\$17,157.75
July 15, 2015		\$4,091.12
July 22, 2015		\$34,202.81
July 29, 2015		\$10,463.12

GRAND TOTAL: \$4,398,014.34

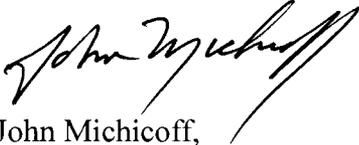
EXHIBITS

A. Accounts Payable Register
Respectfully submitted,

John Michicoff, Interim Finance Director
Finance

STATE OF CALIFORNIA)
) ss:
COUNTY OF LOS ANGELES)

I, John Michicoff, being first duly sworn, declare that I am the Interim Finance Director of the City of Covina and have read the attached Register(s) of Audited Demands for the City of Covina Accounts Payable for 7/03/15 – 7/30/15; Payroll for 7/16/15, 7/22/15, and 7/30/15; and Workers Compensation for 7/08/15, 7/15/15, 7/22/15, and 7/29/15; know the contents thereof, and do CERTIFY as to the accuracy of the attached Demands and the availability of funds for their payment pursuant to the government Code Section 37202.


John Michicoff,
Interim Finance Director

Subscribed and sworn to before me

this _____ day of _____, 2015

CITY OF COVINA
Check Register
JULY 3 - JULY 30, 2015

Check #	Check Date	Vendor	Name	Amount
4987	07/06/15	4160	ICMA	165.00
4988	07/06/15	1405	ICMA RETIREMENT	5,840.87
4989	07/06/15	4003	MidAmerica	4,759.77
4990	07/06/15	2033	NATIONWIDE RETI	7,215.38
4991	07/06/15	4223	ZUMWALT, KRISTI	750.00
4992	07/16/15	4160	ICMA	165.00
4993	07/16/15	1405	ICMA RETIREMENT	4,840.87
4994	07/16/15	4003	MidAmerica	4,764.22
4995	07/16/15	2033	NATIONWIDE RETI	6,915.38
4996	07/16/15	4223	ZUMWALT, KRISTI	750.00
4997	07/16/15	2944	UNITED STATES TREAS	1,427.86
			subtotal EFT/wires	\$37,594.35
75123	07/06/15	68	AFLAC	4,192.62
75124	07/06/15	69	AFSCME	980.00
75125	07/06/15	487	CaIPERS	64,243.03
75126	07/06/15	3846	CLEA	490.00
75127	07/06/15	3846	CLEA	110.25
75128	07/06/15	775	COVINA POLICE A	2,850.00
75129	07/06/15	789	COVINA-FSA, CIT	1,217.53
75130	07/06/15	878	DELTA DENTAL OF	8,541.40
75131	07/06/15	1106	FRANCHISE TAX B	250.00
75132	07/06/15	1247	GREAT WEST LIFE	5,568.72
75133	07/06/15	3795	LEGAL SHIELD	308.34
75134	07/06/15	2234	Void	0.00
75135	07/06/15	2235	PERS LONG TERM	255.46
75136	07/06/15	4230	SOCIAL SECURITY	250.68
75137	07/06/15	3893	STATE DISBURSEM	247.00
75138	07/06/15	2946	UNITED WAY OF G	17.50
75139	07/06/15	3014	VISION SERVICE	825.56
75140	07/06/15	4255	VOYA FINANCIAL	5,175.81
75141	07/06/15	3764	WAGeworks	32.00
75142	07/06/15	3045	WASHINGTON NATI	147.01
75143	07/08/15	26	ABSOLUTE SECURI	6,354.72
75144	07/08/15	3658	ADVANCE TUTORIN	756.40
75145	07/08/15	74	AGI ACADEMY	94.00
75146	07/08/15	91	ALAS, NINA	98.00
75147	07/08/15	113	ALL CITY MANAGE	1,952.10
75148	07/08/15	125	ALLIANCE BUS LI	394.99
75149	07/08/15	4117	ARTISTIC RECONS	507.50
75150	07/08/15	219	AT&T	33.31
75151	07/08/15	219	AT&T	10,633.08
75152	07/08/15	220	AT&T LONG DISTA	59.45
75153	07/08/15	254	AZUSA LIGHT & W	2,102.83

CITY OF COVINA
Check Register
JULY 3 - JULY 30, 2015

75154	07/08/15	3981	BARBER, CHARLES	102.69
75155	07/08/15	341	BEST BEST & KRI	4,027.18
75156	07/08/15	423	BRUNSWICK COVIN	113.72
75157	07/08/15	475	CALIBER POOL AN	2,742.77
75158	07/08/15	572	CATHOLIC CHARIT	5,082.00
75159	07/08/15	600	CERTIFIED UNDER	8.65
75160	07/08/15	617	CHARTER OAK GYM	5,128.00
75161	07/08/15	3736	CHRISTIAN BROTH	657.00
75162	07/08/15	649	CINTAS CORP #69	329.68
75163	07/08/15	653	CITRUS AUTO UPH	77.70
75164	07/08/15	730	CONTEMPORARY IN	84.00
75165	07/08/15	3235	COOK, SHAWNA	666.33
75166	07/08/15	771	COVINA IRRIGATI	1,000.00
75167	07/08/15	3554	CROSSROADS MULC	1,637.50
75168	07/08/15	3982	CUGNU, CAROL A	185.42
75169	07/08/15	4292	DUDEK	10,351.00
75170	07/08/15	970	EDISON CO	33,331.49
75171	07/08/15	981	ELIFEGUARD INC	241.62
75172	07/08/15	3861	EVERLAST ROOFING	16,323.00
75173	07/08/15	1055	FEDEX	249.46
75174	07/08/15	4249	FLUID TECH	266.72
75175	07/08/15	4126	FUENTES, BRITTA	204.76
75176	07/08/15	1194	GLOBAL ENVIRONM	250.00
75177	07/08/15	1204	GOLDEN STATE WA	264.66
75178	07/08/15	1235	GRAINGER	554.74
75179	07/08/15	1282	HALL-McGRADE, A	529.00
75180	07/08/15	1361	HOLLIDAY ROCK C	532.47
75181	07/08/15	3988	HYDRO CONNECTIO	18.52
75182	07/08/15	1398	I.C. COMPOUND C	284.99
75183	07/08/15	1427	INGLEWOOD, CITY	401.43
75184	07/08/15	4029	J&M PROMOTIONS,	5,034.50
75185	07/08/15	3654	JEREMIAH DONOVA	235.45
75186	07/08/15	4300	JOHN MICHICOFF	7,619.73
75187	07/08/15	1565	KIDDIE TECHIE	3,456.00
75188	07/08/15	3721	KRIZIA N VIRBIA	130.00
75189	07/08/15	1615	LA CNTY MTA	60.00
75190	07/08/15	1619	LA CNTY SHERIFF	1,138.40
75191	07/08/15	1638	LAM, LY CHOU	210.00
75192	07/08/15	1663	LAW ENFORCEMENT	330.00
75193	07/08/15	3190	LAYNE, JONATHAN	388.50
75194	07/08/15	3209	LAYNE, SHARON	126.00
75195	07/08/15	4156	LEVERAGE INFORM	1,933.33
75196	07/08/15	1778	MADRID, VICKI	20.00
75197	07/08/15	4212	MALETZ, CHRISTI	154.00

CITY OF COVINA
Check Register
JULY 3 - JULY 30, 2015

75198	07/08/15	3932	MAR, ARLENE D.	122.74
75199	07/08/15	3883	MASI, NICK	3,103.10
75200	07/08/15	4089	MEASOM, DEVIN T	82.70
75201	07/08/15	3983	MERCADO, DANIEL	106.31
75202	07/08/15	4282	MEYERS NAVE RIB	225.00
75203	07/08/15	1933	MISSION LINEN S	61.78
75204	07/08/15	1997	MSNOC INC	3,102.33
75205	07/08/15	3236	MUNOZ, VINCENT	640.50
75206	07/08/15	2104	OFFICE DEPOT	64.85
75207	07/08/15	99999	JOSLYN BLAKELY	234.92
75208	07/08/15	99999	JP ELECTRICAL POWER AND CONTROL	222.00
75209	07/08/15	99999	VIDAL MARQUEZ	20.00
75210	07/08/15	3722	OSCAR LUQUE	20.00
75211	07/08/15	2189	PARADA, MIGUEL	397.08
75212	07/08/15	2208	PATS TIRE SERVI	141.70
75213	07/08/15	2210	PATTON SALES CO	54.99
75214	07/08/15	4177	PETTY CASH	821.64
75215	07/08/15	4177	PETTY CASH	25.00
75216	07/08/15	3656	PLAY-WELL TEKNO	1,890.00
75217	07/08/15	4213	PRISK, JOSHUA	123.20
75218	07/08/15	2335	PYRO-COMM SYSTE	285.00
75219	07/08/15	2415	REPUBLIC MASTER	209.20
75220	07/08/15	2426	REYNOLDS BUICK	16.62
75221	07/08/15	3655	ROBERT WONG	367.50
75222	07/08/15	3882	ROMAN, LILIANA	34.13
75223	07/08/15	3653	SARAH HSU	42.00
75224	07/08/15	2607	SERESINGHE, AJI	1,999.75
75225	07/08/15	2744	STATE DISBURSEM	366.00
75226	07/08/15	2787	SUTMAN, WILLIAM	76.44
75227	07/08/15	2818	TAVANNA	191.10
75228	07/08/15	3881	TAVELLA, ADELAI	118.10
75229	07/08/15	2839	THERMAL COMBUST	110.55
75230	07/08/15	2846	THOMAS, TERRI	533.39
75231	07/08/15	2901	TRIFYTT SPORTS	3,703.11
75232	07/08/15	2907	TRUGREEN LANDSC	8,772.49
75233	07/08/15	3234	VELARDE-KUBANIK	1,499.40
75234	07/08/15	3023	VULCAN MATERIAL	622.72
75235	07/08/15	3187	WAGONER, PAMELA	424.90
75236	07/08/15	3070	WEST COAST ARBO	3,426.00
75237	07/08/15	3082	WESTERN WATER W	1,250.71
75238	07/08/15	470	CAL POLY POMONA	1,125.00
75239	07/08/15	736	COON, MARK	150.00
75240	07/08/15	736	COON, MARK	425.00
75241	07/08/15	753	COUNTY OF SAN B	525.00

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75242	07/08/15	791	CPCA	1,720.00
75243	07/08/15	819	CSAC-EIA	313,935.00
75244	07/08/15	2614	SGV CITY MANAGE	55.00
75245	07/13/15	2234	PERS	154,097.64
75246	07/13/15	2234	PERS	212.89
75247	07/15/15	3	12 MILES OUT.CO	1,836.65
75248	07/15/15	44	ADAMSON INDUSTR	849.12
75249	07/15/15	84	AIRGAS-WEST	1,082.41
75250	07/15/15	116	ALL STAR GLASS	900.00
75251	07/15/15	125	ALLIANCE BUS LI	443.11
75252	07/15/15	189	AREA D OFFICE O	2,401.90
75253	07/15/15	269	BAKER AND TAYLO	4,199.81
75254	07/15/15	283	Void	0.00
75255	07/15/15	341	BEST BEST & KRI	6,761.77
75256	07/15/15	4304	BP ENTERTAINMEN	236.20
75257	07/15/15	4100	BREAD AND BARLE	3,059.30
75258	07/15/15	4307	BROADSPEC INC	3,400.00
75259	07/15/15	411	BRODART CO	75.50
75260	07/15/15	437	BURRO CANYON EN	20.00
75261	07/15/15	477	CALIF, STATE OF	206.00
75262	07/15/15	565	CASTRO, VIVIAN	25.00
75263	07/15/15	568	CAT SPECIALTIES	1,568.90
75264	07/15/15	634	CHEVRON PRODUCT	586.86
75265	07/15/15	4303	CHRISTOF MUNOZ	367.50
75266	07/15/15	717	COMPLETE PAPERL	9,700.00
75267	07/15/15	771	COVINA IRRIGATI	20,565.00
75268	07/15/15	4268	COVINA LAWN MOW	29.41
75269	07/15/15	875	DELL MARKETING	293.65
75270	07/15/15	3164	DIVERSIFIED TRANSIT	66,123.49
75271	07/15/15	970	EDISON CO	10,854.11
75272	07/15/15	1075	FLEET SERVICES	137.66
75273	07/15/15	1197	GLOBAL WATER MA	74,957.17
75274	07/15/15	1235	GRAINGER	191.73
75275	07/15/15	1320	HEAVISIDE, MART	87.00
75276	07/15/15	3934	HF & H CONSULTA	2,205.00
75277	07/15/15	1364	HOME DEPOT	1,707.11
75278	07/15/15	3988	HYDRO CONNECTIO	166.90
75279	07/15/15	1428	INGRAM DIST GRO	310.41
75280	07/15/15	1429	INLAND EMPIRE S	808.00
75281	07/15/15	1531	JW LOCK CO INC	152.98
75282	07/15/15	4301	KB Environmenta	600.00
75283	07/15/15	3751	KELLY ASSOCIATE	5,992.50
75284	07/15/15	1571	KING BOLT CO	47.03
75285	07/15/15	1582	KNORR SYSTEMS I	2,451.40

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75286	07/15/15	3721	KRIZIA N VIRBIA	130.00
75287	07/15/15	1619	LA CNTY SHERIFF	95.15
75288	07/15/15	1637	LAKIN TIRE WEST	223.92
75289	07/15/15	1708	LIFE ASSIST INC	588.60
75290	07/15/15	1715	LIGHTNING OIL C	50.00
75291	07/15/15	1754	LOWE'S COMPANIE	71.35
75292	07/15/15	1754	LOWE'S COMPANIE	22.74
75293	07/15/15	1933	MISSION LINEN S	83.13
75294	07/15/15	1941	MOBIL AIRE ESTA	252.12
75295	07/15/15	4302	MYRNA RODRIGUEZ	250.36
75296	07/15/15	3850	NATIONAL ASSOCI	578.70
75297	07/15/15	2104	OFFICE DEPOT	35.94
75298	07/15/15	2104	OFFICE DEPOT	293.55
75299	07/15/15	99999	AMANDA THARRETT	60.00
75300	07/15/15	99999	AMBIKA RAJ	10.00
75301	07/15/15	99999	Andrea Miller	14.95
75302	07/15/15	99999	Andrew Horton	62.63
75303	07/15/15	99999	ANGIE DRAPER	91.00
75304	07/15/15	99999	Arturo Campos	156.07
75305	07/15/15	99999	BRE DDR Retail Holdings III LLC	34.55
75306	07/15/15	99999	CARMEN CISNEROS	140.00
75307	07/15/15	99999	CATALINA CAMACHO	320.00
75308	07/15/15	99999	CHERRY DE PADUA	40.00
75309	07/15/15	99999	CLAUDIA ZERMENO	45.00
75310	07/15/15	99999	DANA SANDOVAL	120.00
75311	07/15/15	99999	DANNY MORALES	318.33
75312	07/15/15	99999	ERIKA SILVA	160.00
75313	07/15/15	99999	ERS Partners LP	58.74
75314	07/15/15	99999	GLADYS JAZO-GARCIA	40.00
75315	07/15/15	99999	HUA WEN	35.00
75316	07/15/15	99999	IRIS LEE	120.00
75317	07/15/15	99999	ISABEL GALASSI	61.25
75318	07/15/15	99999	Jacie Okamoto	7.36
75319	07/15/15	99999	JACKIE DERMAWAN	54.00
75320	07/15/15	99999	Jeff Hopkins	59.85
75321	07/15/15	99999	JENNIFER RIVERA	50.00
75322	07/15/15	99999	JOHN ACERO	140.00
75323	07/15/15	99999	JORGE LUIS CABRAL	99.00
75324	07/15/15	99999	KAROL WIRSGALLA	220.00
75325	07/15/15	99999	LENKA KENDALL	110.00
75326	07/15/15	99999	LESLIE CASTILLO	175.00
75327	07/15/15	99999	LESLIE DULTZ	60.00
75328	07/15/15	99999	Lilian Pereira	19.71
75329	07/15/15	99999	LUZ ROMERO	160.00

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75330	07/15/15	99999	MARCO LIANG	260.00
75331	07/15/15	99999	MARGARET BENSON	50.00
75332	07/15/15	99999	MARIA NERI	120.00
75333	07/15/15	99999	MARIE GUMBER	50.00
75334	07/15/15	99999	MARINA ANN MONTES	91.00
75335	07/15/15	99999	MICHELLE AYAU	170.00
75336	07/15/15	99999	Monica Man	908.00
75337	07/15/15	99999	MYRACIL LASMARIAS	41.67
75338	07/15/15	99999	NANCY HOPKINS	140.00
75339	07/15/15	99999	NATHAN ELLIOTT	135.00
75340	07/15/15	99999	NICOLE GALLEGOS	50.00
75341	07/15/15	99999	RANDY BLAKE	135.00
75342	07/15/15	99999	ROBERT MC CASLAND	120.00
75343	07/15/15	99999	ROSARIO KENNELLEY	70.00
75344	07/15/15	99999	SULMA WARNER	140.00
75345	07/15/15	99999	THERESA BARNES	300.00
75346	07/15/15	99999	TIA BLACK	65.00
75347	07/15/15	99999	TRAN LE	89.00
75348	07/15/15	99999	TYWANNA HILL	32.14
75349	07/15/15	99999	WENDY MYERS	35.00
75350	07/15/15	3722	OSCAR LUQUE	30.00
75351	07/15/15	4101	RANCHO JANITORI	158.71
75352	07/15/15	4101	RANCHO JANITORI	398.80
75353	07/15/15	2489	ROTO ROOTER SER	295.00
75354	07/15/15	2619	SGV EXAMINER	436.94
75355	07/15/15	2620	SGV NEWSPAPER G	1,719.41
75356	07/15/15	2620	SGV NEWSPAPER G	316.36
75357	07/15/15	2652	SIGNAL HILL, CITY	4,121.00
75358	07/15/15	2676	SMART AND FINAL	1,201.29
75359	07/15/15	2714	SOUTHERN CA GAS	575.00
75360	07/15/15	2886	TRADEWAY GLASS	14.32
75361	07/15/15	2903	TRI-XECUTEX COR	160.00
75362	07/15/15	2968	VALLEY MANUFACT	7,154.16
75363	07/15/15	4065	VERIZON BUSINES	608.26
75364	07/15/15	2999	VERIZON CALIFOR	533.43
75365	07/15/15	3001	VERIZON WIRELES	3,131.05
75366	07/15/15	3132	WRIGHT DESIGNS	604.95
75367	07/15/15	3134	XEROX CORPORATI	990.87
75368	07/15/15	4209	ADLERHORST INTE	23.00
75369	07/15/15	4289	AGUILAR, DENNIS	300.00
75370	07/15/15	251	AYRES HOTEL	685.87
75371	07/15/15	4052	CALIBER PHOTO W	250.00
75372	07/15/15	649	CINTAS CORP #69	154.41
75373	07/15/15	692	CODE PUBLISHING	666.25

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75374	07/15/15	696	COLBURN, MICHAEL	165.11
75375	07/15/15	736	COON, MARK	325.00
75376	07/15/15	4305	DENNIS NEIL JON	1,000.00
75377	07/15/15	1047	FARA	160.00
75378	07/15/15	4306	FIREPAN MEDIA L	1,350.00
75379	07/15/15	1344	HICKEY, STEVEN	255.47
75380	07/15/15	1614	LA CNTY FIRE DE	683,742.90
75381	07/15/15	1694	LEWIS ENGRAVING	59.95
75382	07/15/15	1895	MERRIMAC ENERGY	24,283.24
75383	07/15/15	1933	MISSION LINEN S	22.14
75384	07/15/15	2129	ORANGE COUNTY S	18.40
75385	07/15/15	2129	ORANGE COUNTY S	55.00
75386	07/15/15	2129	ORANGE COUNTY S	80.00
75387	07/15/15	2444	RIO HONDO COLLE	36.80
75388	07/15/15	2447	RIVERSIDE CNTY	139.00
75389	07/15/15	4274	ROOM 2 DANCE	200.00
75390	07/15/15	2534	SAN BERNARDINO	720.00
75391	07/15/15	3836	SERRATO & ASSOC	195.00
75392	07/15/15	2853	THYSSENKRUPP EL	1,065.83
75393	07/15/15	4275	Void	0.00
75394	07/15/15	2999	VERIZON CALIFOR	1,106.85
75395	07/15/15	3041	WARD, BRIAN	24.00
75396	07/15/15	4290	WIENER, ALITZAH	350.00
75397	07/16/15	68	AFLAC	4,167.46
75398	07/16/15	69	AFSCME	1,020.00
75399	07/16/15	487	CalPERS	62,685.78
75400	07/16/15	3846	CLEA	490.00
75401	07/16/15	3846	CLEA	110.25
75402	07/16/15	775	COVINA POLICE A	2,850.00
75403	07/16/15	789	COVINA-FSA, CIT	1,217.53
75404	07/16/15	878	DELTA DENTAL OF	8,663.42
75405	07/16/15	1106	FRANCHISE TAX B	534.62
75406	07/16/15	1247	GREAT WEST LIFE	14,218.72
75407	07/16/15	3795	LEGAL SHIELD	308.34
75408	07/16/15	2234	Void	0.00
75409	07/16/15	2235	PERS LONG TERM	244.41
75410	07/16/15	4230	SOCIAL SECURITY	259.89
75411	07/16/15	3893	STATE DISBURSEM	247.00
75412	07/16/15	2946	UNITED WAY OF G	17.50
75413	07/16/15	3014	VISION SERVICE	847.67
75414	07/16/15	4255	VOYA FINANCIAL	5,213.12
75415	07/16/15	3764	WAGeworks	32.00
75416	07/16/15	3045	WASHINGTON NATI	147.01
75417	07/16/15	283	BANK OF THE WEST	6,230.14

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75418	07/16/15	1361	HOLLIDAY ROCK C	1,971.29
75419	07/21/15	158	AMERICAN TRAFFI	16,185.00
75420	07/21/15	196	ARMORCAST PRODU	944.00
75421	07/21/15	219	AT&T	33.31
75422	07/21/15	219	AT&T	33.31
75423	07/21/15	219	AT&T	33.31
75424	07/21/15	221	AT&T MOBILITY	1,213.26
75425	07/21/15	341	BEST BEST & KRI	2,155.04
75426	07/21/15	572	CATHOLIC CHARIT	9,021.00
75427	07/21/15	749	COUNSELING TEAM	1,180.00
75428	07/21/15	766	COVINA DISPOSAL	12,819.03
75429	07/21/15	783	COVINA WATER	1,712.41
75430	07/21/15	871	DELACH, PEGGY	357.10
75431	07/21/15	3268	DESERT DIAMOND	520.00
75432	07/21/15	896	DH MAINTENANCE	4,800.00
75433	07/21/15	962	EAST DISTRICT S	69.00
75434	07/21/15	962	EAST DISTRICT S	7,175.00
75435	07/21/15	970	EDISON CO	48,149.95
75436	07/21/15	1156	GAS COMPANY, TH	1,484.21
75437	07/21/15	1197	GLOBAL WATER MA	35,478.39
75438	07/21/15	1235	GRAINGER	169.48
75439	07/21/15	1361	HOLLIDAY ROCK C	372.25
75440	07/21/15	3732	ILLINOIS LIBRAR	12.15
75441	07/21/15	1427	INGLEWOOD, CITY	2,940.36
75442	07/21/15	1437	INTER-CON SECUR	5,148.00
75443	07/21/15	1561	KEYSTONE UNIFOR	693.67
75444	07/21/15	1650	LARA, LAURA	130.00
75445	07/21/15	1707	LIEBERT CASSIDY	8,077.20
75446	07/21/15	1778	MADRID, VICKI	20.00
75447	07/21/15	3810	MYERS & SONS HI	324.14
75448	07/21/15	4201	OFFICE TEAM	437.40
75449	07/21/15	99999	JENNIFER BLAIR	1,655.34
75450	07/21/15	4238	PETCO ANIMAL SU	165.21
75451	07/21/15	2275	POIRIER, ROBERT	14.50
75452	07/21/15	2309	PROFESSIONAL AC	538.00
75453	07/21/15	2329	PUENTE READY MI	625.14
75454	07/21/15	2711	SOUTHEAST CONST	181.92
75455	07/21/15	2715	SOUTHERN CA TRA	30.32
75456	07/21/15	2737	STAPLES INC	649.24
75457	07/21/15	3950	STERICYCLE, INC	277.45
75458	07/21/15	2778	SUPERIOR PAVEME	1,216.03
75459	07/21/15	2999	VERIZON CALIFOR	479.94
75460	07/21/15	3023	VULCAN MATERIAL	351.91
75461	07/21/15	4257	WE-DO EQUIPMENT	203.78

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75462	07/21/15	3078	WEST PAYMENT CE	295.35
75463	07/21/15	3152	YWCA	1,460.08
75464	07/21/15	4209	ADLERHORST INTE	19.44
75465	07/21/15	145	AMC THEATRE	454.35
75466	07/21/15	219	AT&T	728.80
75467	07/21/15	219	AT&T	1,671.12
75468	07/21/15	736	COON, MARK	625.00
75469	07/21/15	788	COVINA, CITY OF	22.48
75470	07/21/15	804	CRIME REPORTS	588.00
75471	07/21/15	878	DELTA DENTAL OF	488.08
75472	07/21/15	4116	EAST SAN GABRIE	18,166.67
75473	07/21/15	4313	HILLS, CORY	300.00
75474	07/21/15	1361	HOLLIDAY ROCK C	326.73
75475	07/21/15	1605	LA CNTY AUDITOR	1,628.67
75476	07/21/15	1715	LIGHTNING OIL C	75.00
75477	07/21/15	3921	NETWORK, THE	2,470.00
75478	07/21/15	2104	OFFICE DEPOT	159.92
75479	07/21/15	99999	HOIKI LP	386.34
75480	07/21/15	99999	REMAX	12.70
75481	07/21/15	99999	ROBERT COLLIER	59.67
75482	07/21/15	2234	PERS	160,870.69
75483	07/21/15	2389	RC KEMP CONSULT	1,250.00
75484	07/21/15	2583	SCHWAAB INC	58.63
75485	07/21/15	2818	TAVANNA	200.00
75486	07/21/15	4129	TIFFANY'S CATER	1,190.00
75487	07/21/15	2855	TIME WARNER CAB	303.00
75488	07/21/15	2999	VERIZON CALIFOR	1,153.40
75489	07/21/15	3014	VISION SERVICE	42.52
75490	07/21/15	3077	WEST LITE SUPPL	136.38
75491	07/21/15	3135	XO COMMUNICATIO	4,555.76
75492	07/30/15	26	ABSOLUTE SECURI	5,979.68
75493	07/30/15	4188	ACCO ENGINEERED	5,217.82
75494	07/30/15	61	ADVANTEC CONSUL	1,615.00
75495	07/30/15	4110	AEI-CASC ENGINE	2,454.04
75496	07/30/15	152	AMERICAN LIFEGU	297.01
75497	07/30/15	158	AMERICAN TRAFFI	32,370.00
75498	07/30/15	219	AT&T	15.51
75499	07/30/15	219	AT&T	16.87
75500	07/30/15	219	AT&T	17.48
75501	07/30/15	219	AT&T	33.31
75502	07/30/15	220	AT&T LONG DISTA	5.91
75503	07/30/15	341	BEST BEST & KRI	1,544.99
75504	07/30/15	3771	BLACK & WHITE E	9,428.90
75505	07/30/15	477	CALIF, STATE OF	835.38

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75506	07/30/15	4153	CALIFORNIA PROF	10,132.38
75507	07/30/15	654	CITRUS CAR WASH	392.70
75508	07/30/15	664	CIVILTEC ENGINE	10,532.50
75509	07/30/15	720	COMPUTER SERVIC	25,244.32
75510	07/30/15	4207	CORNERSTONE COM	600.00
75511	07/30/15	771	COVINA IRRIGATI	208,164.00
75512	07/30/15	4268	COVINA LAWN MOW	21.79
75513	07/30/15	4268	COVINA LAWN MOW	56.65
75514	07/30/15	783	COVINA WATER	959.81
75515	07/30/15	3554	CROSSROADS MULC	3,000.00
75516	07/30/15	878	DELTA DENTAL OF	8,480.39
75517	07/30/15	886	DERO BIKE RACK	1,219.69
75518	07/30/15	970	EDISON CO	2,591.64
75519	07/30/15	1025	EVANS, LISA	210.66
75520	07/30/15	1055	FEDEX	63.23
75521	07/30/15	1055	FEDEX	47.50
75522	07/30/15	1156	GAS COMPANY, TH	876.84
75523	07/30/15	4182	GOLDEN STATE CA	10,561.73
75524	07/30/15	1204	GOLDEN STATE WA	57.20
75525	07/30/15	1241	GRAND PRINTING	1,589.87
75526	07/30/15	1277	HAEBE, CYNTHIA	5,005.00
75527	07/30/15	3669	HAMILTON & ASSO	530.72
75528	07/30/15	3934	HF & H CONSULTA	7,026.00
75529	07/30/15	1387	HUNTER, JOHN L.	4,281.25
75530	07/30/15	3988	HYDRO CONNECTIO	39.65
75531	07/30/15	1427	INGLEWOOD, CITY	1,657.60
75532	07/30/15	4077	INTERWEST CONSU	9,625.00
75533	07/30/15	3659	JMDIAZ	55,919.50
75534	07/30/15	1512	JOHNSON-FRANK	380.25
75535	07/30/15	4220	KJ SERVICES ENV	1,340.00
75536	07/30/15	3987	KYOCERA DOCUMEN	6,241.02
75537	07/30/15	1615	LA CNTY MTA	580.00
75538	07/30/15	1619	LA CNTY SHERIFF	819.95
75539	07/30/15	1646	LANGUAGE LINE S	33.84
75540	07/30/15	3563	NEWEGG INC	460.70
75541	07/30/15	2101	OCLC/FOREST PRE	1,260.05
75542	07/30/15	2104	OFFICE DEPOT	562.39
75543	07/30/15	2104	OFFICE DEPOT	97.73
75544	07/30/15	4201	OFFICE TEAM	437.40
75545	07/30/15	99999	ANN ESCAMILLO	122.50
75546	07/30/15	99999	ARACELI RUIZ	45.00
75547	07/30/15	99999	ARACELY ESTRADA	70.00
75548	07/30/15	99999	ARLETTE PABLO	28.00
75549	07/30/15	99999	ARVIN NER	60.00

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75550	07/30/15	99999	BLANCA MONTES	13.33
75551	07/30/15	99999	BREANNA GARCIA	35.00
75552	07/30/15	99999	BRUCE FRANCIS	70.00
75553	07/30/15	99999	CHCOMENG CHEN	55.00
75554	07/30/15	99999	DIANA STENGEL	135.00
75555	07/30/15	99999	ESPERANZA HERRER-LOERA	130.00
75556	07/30/15	99999	GINGER SALAHIEH	110.00
75557	07/30/15	99999	H.H. DORJE CHANG	200.00
75558	07/30/15	99999	HILDA PADILLA-HANDA	90.00
75559	07/30/15	99999	JENIE SORIANO-FRANCOSO	52.50
75560	07/30/15	99999	JENNIFER LORA	150.00
75561	07/30/15	99999	JOANN TIET	130.00
75562	07/30/15	99999	JOSEPH CARRILLO	35.00
75563	07/30/15	99999	KIM NGUYEN	70.00
75564	07/30/15	99999	LAURA VILLEGAS	120.00
75565	07/30/15	99999	LINDA DIAZ	70.00
75566	07/30/15	99999	LISSET RODRIGUEZ	60.00
75567	07/30/15	99999	MARIA RIOS	135.00
75568	07/30/15	99999	MARIA TERESA LOPEZ	79.62
75569	07/30/15	99999	MICHELLE BENAVIDES	160.00
75570	07/30/15	99999	MINERA RAYGOZA	99.00
75571	07/30/15	99999	NIKO'S CUTTING ZONE	1,911.33
75572	07/30/15	99999	PATRICIA NAUGHTIN	15.00
75573	07/30/15	99999	REBECCA MENA	52.50
75574	07/30/15	99999	RHONDA BIERNESER	110.00
75575	07/30/15	99999	ROSARIO CASTANO	160.00
75576	07/30/15	99999	ROXANNA TORRUCO	75.00
75577	07/30/15	99999	SHAREE DRAFTON	20.00
75578	07/30/15	99999	SHELLEY KUCHINSKI	120.00
75579	07/30/15	99999	SONRISE CHRISTIAN SCHOOL	70.06
75580	07/30/15	99999	VERONICA HERNANDEZ	30.00
75581	07/30/15	99999	ZAIDA GONZALEZ	23.00
75582	07/30/15	2407	REGIONAL TAP SE	640.20
75583	07/30/15	2557	SANTA ANITA FAM	270.00
75584	07/30/15	2700	SOFTWARE HOUSE	235.67
75585	07/30/15	2852	THREE VALLEY MU	9,390.76
75586	07/30/15	2912	TT MAILING SERV	609.87
75587	07/30/15	2942	UNITED SITE SER	135.30
75588	07/30/15	2954	URBAN GRAFFITI	3,324.90
75589	07/30/15	4065	VERIZON BUSINES	607.65
75590	07/30/15	2999	VERIZON CALIFOR	530.55
75591	07/30/15	3060	WEISENBACH SPEC	1,526.30
75592	07/30/15	3132	WRIGHT DESIGNS	1,181.29
75593	07/30/15	21	ABELING, MARY J	2,200.80

CITY OF COVINA
Check Register
JULY 3 - JULY 30, 2015

75594	07/30/15	23	ABORTA BUG INC	140.00
75595	07/30/15	4209	ADLERHORST INTE	102.60
75596	07/30/15	3658	ADVANCE TUTORIN	1,134.60
75597	07/30/15	74	AGI ACADEMY	141.00
75598	07/30/15	84	AIRGAS-WEST	169.77
75599	07/30/15	91	ALAS, NINA	147.00
75600	07/30/15	125	ALLIANCE BUS LI	1,201.01
75601	07/30/15	4117	ARTISTIC RECONS	610.31
75602	07/30/15	207	ASCHEBRENNER,	5,061.84
75603	07/30/15	218	ASZMAN FAMILY B	1,980.72
75604	07/30/15	260	B & K ELECTRIC	81.55
75605	07/30/15	3981	BARBER, CHARLES	143.71
75606	07/30/15	376	BOND LOGISTIX	2,991.78
75607	07/30/15	383	BOOTH, LOLA J	7,922.88
75608	07/30/15	385	BORUM, PATRICIA	2,200.80
75609	07/30/15	4279	BOSS JANITORIAL	1,813.00
75610	07/30/15	4304	BP ENTERTAINMEN	315.04
75611	07/30/15	412	BRONDINO, JEANN	4,401.60
75612	07/30/15	423	BRUNSWICK COVIN	284.40
75613	07/30/15	440	BUSKEY, CAROLYN	1,210.44
75614	07/30/15	463	CADWALLADER, HE	3,961.44
75615	07/30/15	488	CALIFORNIA SCIE	111.00
75616	07/30/15	4314	CARLOS NUNEZ	100.00
75617	07/30/15	4294	CARSON, KENETA	4,401.60
75618	07/30/15	568	CAT SPECIALTIES	299.75
75619	07/30/15	589	CELAYA, VERA FL	82.02
75620	07/30/15	605	CHADWICK, GEORG	1,100.40
75621	07/30/15	4320	CHALLENGER SPOR	1,963.50
75622	07/30/15	617	CHARTER OAK GYM	3,223.00
75623	07/30/15	4303	CHRISTOF MUNOZ	630.00
75624	07/30/15	649	CINTAS CORP #69	308.82
75625	07/30/15	4318	City of Anaheim	563.66
75626	07/30/15	698	COLE, MADELINE	440.16
75627	07/30/15	730	CONTEMPORARY IN	12.00
75628	07/30/15	3235	COOK, SHAWNA	862.55
75629	07/30/15	737	COOPERATIVE PER	1,067.00
75630	07/30/15	3982	CUGNU, CAROL A	141.84
75631	07/30/15	4315	DANIEL VASQUEZ	175.00
75632	07/30/15	4072	DE LEON, JUAN C	769.80
75633	07/30/15	3927	DOUBLETREE BY H	217.74
75634	07/30/15	4323	DPrep Inc	393.00
75635	07/30/15	1055	FEDEX	24.69
75636	07/30/15	4126	FUENTES, BRITTA	233.29
75637	07/30/15	1180	GIAMMARCO, ANTH	480.48

CITY OF COVINA
Check Register
JULY 3 - JULY 30, 2015

75638	07/30/15	1215	GONZALES, RICHA	1,092.00
75639	07/30/15	4326	GUY MAIN COLBER	1,100.40
75640	07/30/15	1289	HANSEN, ANN	4,841.76
75641	07/30/15	1313	HAWK TRUST,THE	550.20
75642	07/30/15	1317	HDL SOFTWARE LL	6,500.00
75643	07/30/15	3660	Jane Ann	1,100.40
75644	07/30/15	3654	JEREMIAH DONOVA	257.25
75645	07/30/15	1509	JOHNSON, OCLYTI	4,841.76
75646	07/30/15	3848	JUMPING JACKS	255.00
75647	07/30/15	1576	KLEIN, VIRGINIA	440.16
75648	07/30/15	1603	LA CNTY	887.00
75649	07/30/15	1638	LAM, LY CHOU	304.50
75650	07/30/15	3190	LAYNE, JONATHAN	340.37
75651	07/30/15	3209	LAYNE, SHARON	252.00
75652	07/30/15	1691	LEVEL 3 COMMUNI	1,164.29
75653	07/30/15	1694	LEWIS ENGRAVING	17.44
75654	07/30/15	4212	MALETZ, CHRISTI	156.80
75655	07/30/15	3932	MAR, ARLENE D.	248.05
75656	07/30/15	3883	MASI, NICK	1,883.00
75657	07/30/15	1825	MASONIC HOMES O	6,602.40
75658	07/30/15	1860	MCNEILL SOUND &	283.50
75659	07/30/15	4089	MEASOM, DEVIN T	53.80
75660	07/30/15	1908	MICHAEL J O'DAY	440.00
75661	07/30/15	1922	MILLER, JACQUEL	440.16
75662	07/30/15	1933	MISSION LINEN S	44.28
75663	07/30/15	4330	MONSON, MURIEL	440.16
75664	07/30/15	1977	MORGAN, HENRY M	220.08
75665	07/30/15	1978	MORGAN, ROBERT	1,980.72
75666	07/30/15	1985	MORTENSEN, JAME	220.08
75667	07/30/15	1997	MSNOC INC	940.10
75668	07/30/15	3236	MUNOZ, VINCENT	693.00
75669	07/30/15	4302	MYRNA RODRIGUEZ	250.38
75670	07/30/15	3718	NADENE VALDEZ	520.62
75671	07/30/15	4331	NANCY COBB	322.00
75672	07/30/15	99999	CLAUDIA BOYD	67.35
75673	07/30/15	99999	EDDY VILLARREAL	13.69
75674	07/30/15	99999	EDITH SERNA	84.89
75675	07/30/15	99999	ELVIRA POLANCO	164.34
75676	07/30/15	99999	FAURA INVESTMENT, LLC	62.74
75677	07/30/15	99999	RHONDA TASKER	19.43
75678	07/30/15	99999	STEPHANIE STABIO	76.50
75679	07/30/15	99999	WENPIN LN	69.20
75680	07/30/15	2134	ORKIN PEST CONT	114.13
75681	07/30/15	3541	OUTDOOR DESIGN	3,117.05

CITY OF COVINA
 Check Register
 JULY 3 - JULY 30, 2015

75682	07/30/15	2189	PARADA, MIGUEL	338.59
75683	07/30/15	2238	PEST OPTIONS IN	265.00
75684	07/30/15	3656	PLAY-WELL TEKNO	4,200.00
75685	07/30/15	4321	PRINCESS PERFOR	1,463.00
75686	07/30/15	4213	PRISK, JOSHUA	981.40
75687	07/30/15	50	PROGREEN BLDG M	1,543.10
75688	07/30/15	2415	REPUBLIC MASTER	577.05
75689	07/30/15	3655	ROBERT WONG	390.60
75690	07/30/15	2456	ROBISON, MIKE	195.00
75691	07/30/15	2514	SACRED HEART CH	2,200.80
75692	07/30/15	3653	SARAH HSU	56.00
75693	07/30/15	4106	SCHNEIDER, TINA	7.00
75694	07/30/15	4298	SCOFIELD, JEANN	2,200.80
75695	07/30/15	2607	SERESINGHE, AJI	2,000.00
75696	07/30/15	2744	STATE DISBURSEM	338.59
75697	07/30/15	3873	STEWART, KATSUK	3,081.12
75698	07/30/15	2787	SUTMAN, WILLIAM	106.40
75699	07/30/15	2818	TAVANNA	426.30
75700	07/30/15	3881	TAVELLA, ADELAI	157.52
75701	07/30/15	2846	THOMAS, TERRI	1,176.85
75702	07/30/15	2855	TIME WARNER CAB	254.51
75703	07/30/15	2903	TRI-XECUTEX COR	203.60
75704	07/30/15	2901	TRIFYTT SPORTS	3,124.50
75705	07/30/15	2958	US POSTMASTER	4,400.00
75706	07/30/15	3234	VELARDE-KUBANIK	999.60
75707	07/30/15	2999	VERIZON CALIFOR	235.15
75708	07/30/15	3004	VICTORY EXTERMI	50.00
75709	07/30/15	3187	WAGONER, PAMELA	617.73
75710	07/30/15	3034	WALKER, SHEILA	5,502.00
75711	07/30/15	3878	WARD, CLARENCE	1,320.48
75712	07/30/15	3105	WILLIAMS, JAMES	1,540.56
75713	07/30/15	4322	YOUNG MINDS ACA	1,470.00
subtotal checks				\$2,791,193.02
subtotal payroll				\$1,514,120.95
subtotal voids				(\$10,808.78)
subtotal Worker's Compensation				\$65,914.80
TOTAL checks/EFTs				\$4,398,014.34

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**SUCCESSOR AGENCY TO THE
COVINA REDEVELOPMENT AGENCY
AGENDA ITEM COMMENTARY**

MEETING DATE August 18, 2015

ITEM NO. CC 4

STAFF SOURCE John Michicoff, Interim Finance Director

ITEM TITLE Payment of Demands

STAFF RECOMMENDATION

Approve Payment of Demands in the amount of **\$93,199.07**.

FISCAL IMPACT

Sufficient funding is available and the related costs are included in the Fiscal Year 14/15 and 15/16 Adopted Budgets.

BACKGROUND

Attached is a list of warrants and demands which are being presented for approval and are summarized as follows:

<u>DATE OF DEMANDS</u>	<u>DEMAND NUMBERS</u>	<u>AMOUNT</u>
ACCOUNTS PAYABLE WARRANTS		
July 3 - July 30, 2015	Checks 1202-1215	\$78,288.74
<u>PAYROLL</u>		
July 16, 2015	Gross Payroll & Taxes	\$7,601.65
July 30, 2015	Gross Payroll & Taxes	\$7,308.68
<u>VOIDS</u>	none	
GRAND TOTAL:		\$93,199.07

EXHIBITS

A. Accounts Payable Register

Respectfully submitted,

John Michicoff, Interim Finance Director
Finance

SUCCESSOR AGENCY TO THE
COVINA REDEVELOPMENT AGENCY

Check Register

JULY 3 - JULY 30, 2015

Check #	Check Date	Vendor	Name	Amount
1202	07/08/2015	572	CATHOLIC CHARIT	3,171.00
1203	07/08/2015	896	DH MAINTENANCE	1,100.00
1204	07/08/2015	1156	GAS COMPANY, TH	28.99
1205	07/08/2015	4300	JOHN MICHICOFF	1,249.80
1206	07/15/2015	896	DH MAINTENANCE	95.00
1207	07/15/2015	2942	UNITED SITE SER	68.17
1208	07/21/2015	572	CATHOLIC CHARIT	230.00
1209	07/21/2015	2999	VERIZON CALIFOR	78.97
1210	07/21/2015	2452	RJS FINANCIAL	49,840.00
1211	07/21/2015	2955	US BANK	20,135.38
1212	07/21/2015	2999	VERIZON CALIFOR	80.06
1213	07/21/2015	3135	XO COMMUNICATIO	169.94
1214	07/30/2015	376	BOND LOGISTIX	1,994.52
1215	07/30/2015	2955	US BANK	46.91
			<i>subtotal checks</i>	\$78,288.74
			<i>subtotal Payroll</i>	\$14,910.33
			TOTAL CHECKS/EFT's/PAYROLL	\$93,199.07

STATE OF CALIFORNIA)
) ss:
COUNTY OF LOS ANGELES)

I, John Michicoff, first duly sworn, declare that I am the Interim Finance Director of the City of Covina and have read the attached Register(s) of Audited Demands for the Covina Successor Agency to the Covina Redevelopment Agency Accounts Payable for 7/03/15 – 7/30/15 and Payroll for 7/16/15 and 7/30/15; know the contents thereof, and do CERTIFY as to the accuracy of the attached Demands and the availability of funds for their payment pursuant to the government Code, Section 37202.



John Michicoff,
Interim Finance Director

Subscribed and sworn to before me

this _____ day of _____, 2015

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**CITY OF COVINA\
SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT
AGENCY
AGENDA ITEM COMMENTARY**

ITEM NO. CC 5

MEETING DATE: August 18, 2015

STAFF SOURCE: Geoffrey Cobbett, Treasurer
John Michicoff, Interim Finance Director



ITEM TITLE: Quarterly Report of the Treasurer to the City Council and the Successor Agency to the Covina Redevelopment Agency for the Quarter Ended June 30, 2015

STAFF RECOMMENDATION

Receive and file the Quarterly Investment Report of the Treasurer for the Quarter Ended June 30, 2015.

FISCAL IMPACT

None.

BACKGROUND

Pursuant to Government Code Section 53600 et seq. and Section 4.0 of the City of Covina's Investment Policy, the Treasurer is required to render a report to the City Council and City Manager, containing detailed information of all securities, investments and moneys of the City. The report shall be submitted on a quarterly basis and be provided to the Council within 30 days following the end of the quarter.

Due to timing constraints and the availability of information required to complete the investment report within the prescribed time frame, the June 30, 2015, investment report could not be completed in time to be placed on the July 21, 2015, City Council agenda. Therefore, in order to be in compliance with the City's Investment Policy, the report was rendered to the City Council and City Manager under a separate memorandum prior to the conclusion of that 30 day period. The report is now being placed on tonight's City Council meeting which was the next regular scheduled City Council meeting after the completion of the 30 day period.

The attached quarterly report for the City and Successor Agency reflect the portfolio balances for the quarter ended June 30, 2015. The report is in conformity with the City's Investment Policy as well as Government Code 53601.

There are sufficient funds to meet the pooled expenditure requirements for all City funds for the next 6 months.

EXHIBITS ON FILE WITH CITY CLERK

A - CITY	Quarterly Report of the Treasurer to the City Council for the Quarter Ended June 30, 2015
A - AGENCY	Quarterly Report of the Treasurer to the Successor Agency to the Covina Redevelopment Agency for the Quarter Ended June 30, 2015
A-1-CITY	Cash and Investment Summary
A-1-AGENCY	Cash and Investment Summary
A-2	Total Investment Portfolio as of June 30, 2015
A-3	Investment Transaction Summary
A-4	Investment Holdings by Sector
A-5	Cash and Investments - Three Year Comparison
A-6	City LAIF Statement for June 2015
A-7	Successor Agency LAIF Statement for June 2015
A-8	LAIF Market Valuation for June 30, 2015
B	Transmittal Memo for June 2015 Investment Report

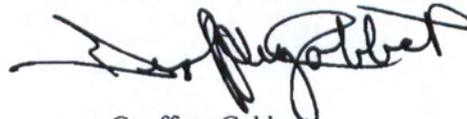
EXHIBIT A
QUARTERLY REPORT OF THE TREASURER TO THE CITY COUNCIL
FOR THE QUARTER ENDED JUNE 30, 2015

CASH BALANCE	3/31/2015	40,438,484.25
RECEIPTS	4/1/15-6/30/15	27,396,739.56
DISBURSEMENTS	4/1/15-6/30/15	<u>(21,435,144.80)</u>
CASH BALANCE	6/30/2015	<u>\$46,400,079.01</u>
ANALYSIS OF CASH AND INVESTMENT BALANCE		
CHECKING AND PETTY CASH BALANCES		6,994,405.35
LOCAL AGENCY INVESTMENT FUND		26,423,514.27
BOND LOGISTIX INVESTMENT PORTFOLIO	EXHIBIT A-2	12,814,137.42
WELLS FARGO MONEY MARKET AND U.S. TREASURY BILLS	EXHIBIT A-2	<u>168,021.97</u>
AVAILABLE CASH BALANCES	6/30/2015	\$46,400,079.01
CASH AND INVESTMENTS HELD BY BOND TRUSTEES		<u>12,053,935.81</u>
TOTAL CASH AND INVESTMENT BALANCE	6/30/2015	<u>\$58,454,014.82</u>

gm

The purpose of this report is to provide readers with the overall cash position of the City. There is sufficient investment liquidity to meet the pooled expenditures of all City's funds for the next 6 months.

Respectfully submitted,



Geoffrey Cobbett
Treasurer

EXHIBIT A
QUARTERLY REPORT OF THE TREASURER TO THE SUCCESSOR AGENCY TO THE COVINA
REDEVELOPMENT AGENCY
FOR THE QUARTER ENDED JUNE 30, 2015

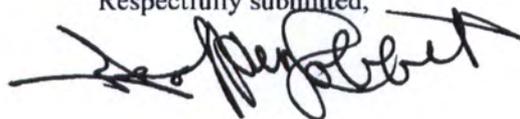
CASH BALANCE	3/31/2015	7,957,910.31
RECEIPTS	4/1/15-6/30/15	289,512.28
DISBURSEMENTS	4/1/15-6/30/15	(190,935.37)
CASH BALANCE	6/30/2015	\$8,056,487.22

ANALYSIS OF CASH AND INVESTMENT BALANCE

CHECKING ACCOUNT		419,110.88
LOCAL AGENCY INVESTMENT FUND		1,903,946.19
BOND LOGISTIX INVESTMENT PORTFOLIO	EXHIBIT A-2	5,659,225.06
WELLS FARGO MONEY MARKET AND U.S. TREASURY BILLS	EXHIBIT A-2	74,205.09
AVAILABLE CASH BALANCES		\$8,056,487.22
CASH AND INVESTMENTS HELD BY BOND TRUSTEES		2,136,558.54
TOTAL CASH & INVESTMENT BALANCE	6/30/2015	\$10,193,045.76

The purpose of this report is to provide readers with the overall cash position of the Successor Agency to the Covina Redevelopment Agency (Agency). There is sufficient investment liquidity to meet the pooled expenditures of all Agency's funds for the next 6 months.

Respectfully submitted,



Geoffrey Cobbett
Treasurer

**EXHIBIT A-1
CITY OF COVINA
CASH AND INVESTMENT SUMMARY
FOR THE QUARTER ENDED JUNE 30, 2015**

TYPE OF INVESTMENT	ISSUER	BANK VALUE \$	ACQUISITION DATE	MATURITY DATE	MARKET VALUE \$
City of Covina:					
Drawer & Petty Cash	N/A	8,560.49	N/A	N/A	8,560.49
General - Checking Account	Bank of the West	4,332,933.35	N/A	Demand	4,332,933.35
Public Agency Saving - Parking Fines	Bank of the West	2,795.10	N/A	Demand	2,795.10
Utility Billing Account	Wells Fargo	493,506.47	N/A	Demand	493,506.47
Workers' Compensation - Checking Account	Bank of the West	15,000.00	N/A	Demand	15,000.00
Payroll - Checking Account	Bank of the West	35,000.00	N/A	Demand	35,000.00
Federal Treasury Narcotics - Checking	Bank of the West	14,652.51	N/A	Demand	14,652.51
Federal Justice Dept Admin - Checking	Bank of the West	71,284.80	N/A	Demand	71,284.80
Money Market	Bank of the West	2,007,396.63	N/A	Demand	2,007,396.63
AFLAC Flexible Spending Account	Bank of the West	13,276.00	N/A	Demand	13,276.00
Bond Logistix Investment Portfolio					
Wells Fargo Money Market and U.S. Treasury Bills	Various	6,994,405.35	Various	Various	6,994,405.35
Local Agency Investment Fund	Various	12,814,137.42	N/A	Demand	12,768,758.98
	State of California	168,021.97	N/A	Demand	168,021.97
		26,423,514.27	N/A	Demand	26,423,514.27
Subtotal (A)		46,400,079.01			\$53,349,105.92
Cash Held Under 3rd Party Administrator:					
2010 Covina Water Revenue Bond	U.S. Bank	4,447,640.53	N/A	Demand	\$4,447,640.53
Fiscal Agent: U.S. Bank					
2009 Covina Wastewater Bonds		7,606,295.28	N/A	Demand	\$7,606,295.28
Subtotal (B)		\$12,053,935.81			\$12,053,935.81
TOTAL (A+B)		\$58,454,014.82			\$65,403,041.73

The purpose of this schedule is to show the total cash and investments held by the City of Covina by account.

EXHIBIT A-1
SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT AGENCY
CASH AND INVESTMENT SUMMARY
FOR THE QUARTER ENDED JUNE 30, 2015

TYPE OF INVESTMENT	ISSUER	BANK VALUE \$	ACQUISITION DATE	DATE	MARKET VALUE \$
Successor Agency to the Covina Redevelopment Agency:					
Checking Account	Bank of the West	419,110.88	N/A	Demand	419,110.88
Bond Logistix Portfolio	Various	5,659,225.06	Various	Various	5,639,184.17
Wells Fargo Money Market and Treasury Bills	Various	74,205.09	N/A	Demand	74,205.09
Local Agency Investment Fund	State of California	1,903,946.19		Demand	1,903,946.19
Subtotal (A)		\$8,056,487.22			\$8,036,446.33
Cash Held Under 3rd Party Administrator:					
(1) 2013 Series A Tax Allocation Bonds Fiscal Agent: U.S. Bank	U.S. Bank*	550,262.63	N/A	Demand	550,262.63
(2) 2014 Series A Tax Allocation Bonds Fiscal Agent: U.S. Bank	U.S. Bank*	1,261,779.95	N/A	Demand	1,261,779.95
(3) 2004 Series B Tax Allocation Bonds Fiscal Agent: U.S. Bank	U.S. Bank*	324,515.96	N/A	Demand	324,515.96
Subtotal (B)		\$2,136,558.54			\$2,136,558.54
TOTAL (A+B)		\$10,193,045.76			\$10,173,004.87

The purpose of this schedule is to show the total cash and investments held by the Successor Agency to the Covina Redevelopment Agency by account.
* Formerly BNY Mellon

EXHIBIT A-2
CITY OF COVINA & SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT AGENCY
Bond Logistix
Investment Portfolio as of
June 2015

Purchase Date	Qty	Market Price Per Share	Total Original Cost Value	Original Cost Value-CITY	Original Cost Value-AGENCY	Total Market Value	Market Value-CITY	Market Value-AGENCY	Coupon	CUSIP	Maturity	Issuer	Held by
01/08/14	7,500	103.211000	792,890.63	549,992.43	242,898.20	774,082.50	536,946.08	237,136.42	2.7500	912828MA5	11/30/2016	US Treasury	Bond Logistix
05/05/14	8,500	104.070000	901,796.88	625,535.78	276,261.10	884,595.00	613,603.61	270,991.39	3.0000	912828MS6	2/28/2017	US Treasury	Bond Logistix
12/12/14	7,750	103.484000	802,760.74	556,838.88	245,921.86	802,001.00	556,311.88	245,689.12	2.2500	912828PKO	11/30/2017	US Treasury	Bond Logistix
01/08/15	5,000	104.766000	525,351.56	364,412.66	160,938.90	523,830.00	363,357.22	160,472.78	2.7500	912828PN4	12/31/2017	US Treasury	Bond Logistix
03/04/15	4,250	104.766000	445,353.52	308,921.63	136,431.89	445,255.50	308,853.64	136,401.86	2.7500	912828PN4	12/31/2017	US Treasury	Bond Logistix
06/06/13	7,000	101.406000	730,761.72	506,896.41	223,865.31	709,842.00	492,385.34	217,456.66	2.0000	912828QF0	4/30/2016	US Treasury	Bond Logistix
06/06/13	7,000	101.305000	726,113.28	503,672.00	222,441.28	709,135.00	491,894.93	217,240.07	1.7500	912828QP8	5/31/2016	US Treasury	Bond Logistix
08/06/13	8,000	101.156000	821,500.00	569,837.46	251,662.54	809,248.00	561,338.80	247,909.20	1.5000	912828QR4	6/30/2016	US Treasury	Bond Logistix
10/03/13	7,500	101.219000	769,218.75	533,572.31	235,646.44	759,142.50	526,582.87	232,559.63	1.5000	912828QX1	7/31/2016	US Treasury	Bond Logistix
09/06/13	7,600	100.719000	762,612.50	528,989.86	233,622.64	765,464.40	530,968.09	234,496.31	1.0000	912828RF9	8/31/2016	US Treasury	Bond Logistix
11/06/13	7,000	100.758000	708,613.28	491,533.04	217,080.24	705,306.00	489,238.93	216,067.07	1.0000	912828RJ1	9/30/2016	US Treasury	Bond Logistix
12/05/13	9,000	100.758000	911,601.56	632,336.84	279,264.72	906,832.00	629,021.48	277,800.52	1.0000	912828RM4	10/31/2016	US Treasury	Bond Logistix
02/05/14	6,000	100.586000	604,335.94	419,200.55	185,135.39	603,516.00	418,631.80	184,884.20	0.8750	912828RX0	12/31/2016	US Treasury	Bond Logistix
03/11/14	7,750	100.555000	777,754.88	539,493.44	238,261.44	779,301.25	540,566.09	238,735.16	0.8750	912828SC5	1/31/2017	US Treasury	Bond Logistix
04/03/14	9,000	100.766000	901,195.31	625,118.49	276,076.82	906,894.00	629,071.42	277,822.58	1.0000	912828SM3	3/31/2017	US Treasury	Bond Logistix
06/06/14	10,000	100.508000	1,001,796.88	694,901.26	306,895.62	1,005,080.00	697,178.61	307,901.39	0.8750	912828SS0	4/30/2017	US Treasury	Bond Logistix
08/07/14	9,250	100.195000	920,664.06	638,623.09	282,040.97	926,803.75	642,881.91	283,921.84	0.7500	912828TB6	6/30/2017	US Treasury	Bond Logistix
05/29/15	8,250	99.648000	821,777.34	570,029.83	251,747.51	822,096.00	570,250.87	251,845.13	0.5000	912828TG5	7/31/2017	US Treasury	Bond Logistix
08/31/14	8,000	99.828000	790,875.00	548,594.28	242,280.72	798,624.00	553,969.41	244,654.59	0.6250	912828TM2	8/31/2017	US Treasury	Bond Logistix
10/06/14	4,500	99.703000	444,480.47	308,316.03	136,164.44	448,663.50	311,217.61	137,445.89	0.6250	912828TS9	9/30/2017	US Treasury	Bond Logistix
03/04/15	9,750	100.016000	969,820.31	672,720.56	297,099.75	975,156.00	676,421.69	298,734.31	0.8750	912828UJ7	1/31/2018	US Treasury	Bond Logistix
05/29/15	6,500	99.102000	644,007.81	446,719.14	197,288.67	644,163.00	446,826.79	197,336.21	0.6250	912828UZ1	4/30/2018	US Treasury	Bond Logistix
08/07/14	9,250	99.969000	922,868.15	640,151.96	282,716.19	924,713.25	641,431.83	283,281.42	0.2500	912828VC1	5/15/2016	US Treasury	Bond Logistix
12/12/14	7,750	100.414000	775,211.91	537,729.50	237,482.41	778,208.50	539,808.10	238,400.40	0.8750	912828WT3	7/15/2017	US Treasury	Bond Logistix
Subtotal Securities			\$ 18,473,362.48	\$ 12,814,137.42	\$ 5,659,225.06	\$ 18,407,943.15	\$ 12,768,758.98	\$ 5,639,184.17					
Wells Fargo Mmkt			\$ 242,227.06	168,021.97	74,205.09	\$ 242,227.06	168,021.97	74,205.09					
Total Value of Portfolio			\$ 18,715,589.54	\$ 12,982,159.39	\$ 5,733,430.15	\$ 18,650,170.21	\$ 12,936,780.95	\$ 5,713,389.26					

The purpose is to demonstrate compliance with the city's adopted Investment Policy. This is a required report per Government Code section 53646(b). The investment portfolio as presented is in compliance with the City's and Agency's adopted Investment Policy.

* Agency is the Successor Agency to the Covina Redevelopment Agency

EXHIBIT A-3
CITY OF COVINA & SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT AGENCY
Investment Transaction Summary
for the Quarter Ended June 30, 2015

Purchased Investments									
Qty	Purch Date	Maturity	Share Price at Purch Date	Original Cost Value	Market Value at Purchase Date	Discount / (Premium) on Purchase	Issuer	CUSIP	Held by
6,500	05/29/15	4/30/2018	99.080000	644,007.81	644,566.00	558.19	US Treasury	912828UZI	Bond Logistix
8,250	05/29/15	7/31/2017	99.610000	821,777.34	822,038.25	260.91	US Treasury	912828TGS	Bond Logistix
Total				1,465,785.15	1,466,604.25	819.10			

Sold/Matured Investments									
Qty	Purch Date	Maturity	Sale / Maturity Date	Original Cost Value	Sale / Maturity Price	Gain / (Loss) on Sale / Redemption	Interest Earnings Since Purchase	Issuer	CUSIP
7,500	07/05/13	02/29/16	101.430000	780,937.50	760,693.36	(20,244.14)	26,374.83	US Treasury	912828QJ2
7,000	04/08/13	03/31/16	101.670000	740,195.31	711,675.78	(28,519.53)	31,155.74	US Treasury	912828QA1
Total				1,521,132.81	1,472,369.14	(48,763.67)	57,530.57		

Net Revenue Analysis - for Period Ending June 30, 2015

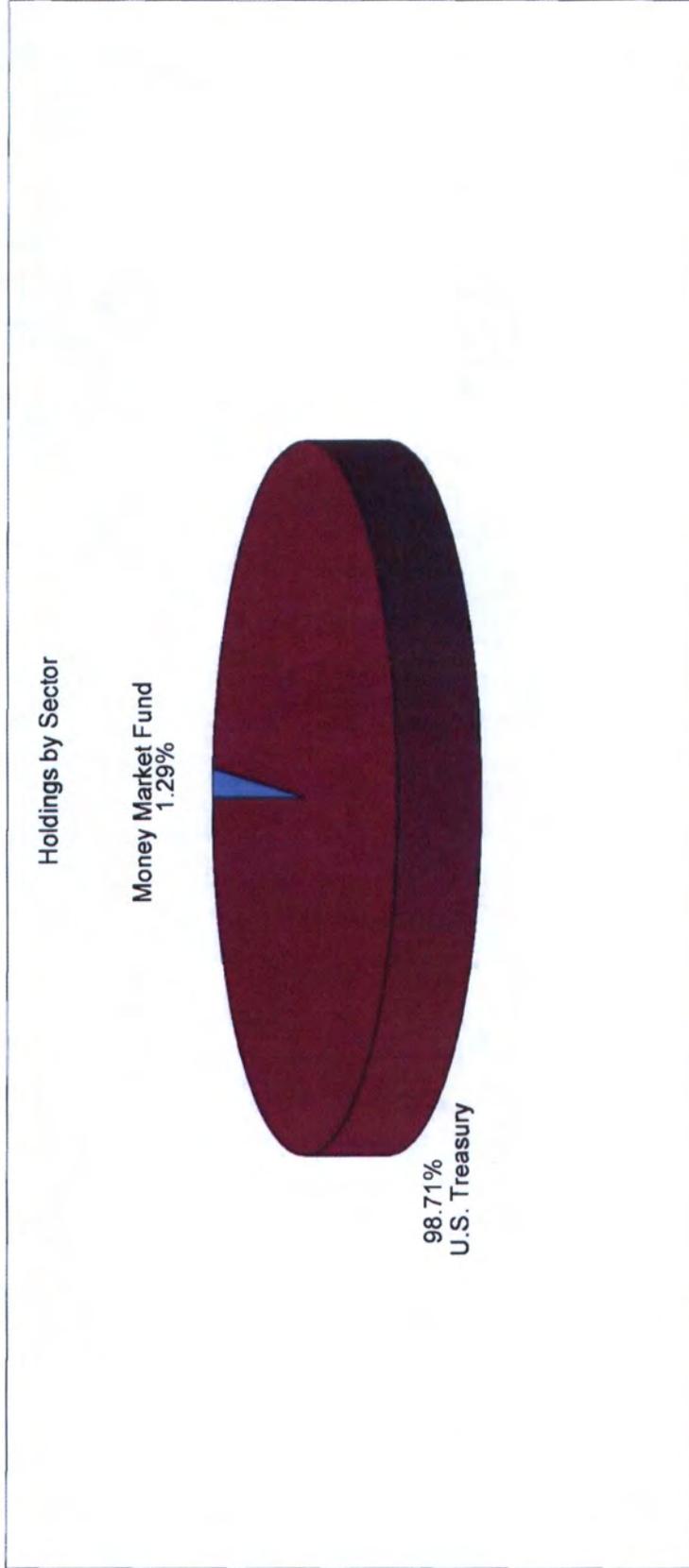
Period	Portfolio Manager	Interest Revenue	Gain / (Loss) on Sales	Management Fees	Net revenue / (Loss)	Fees as a % of Revenue
Previous Quarter	Bond Logistix	67,004.01	\$ 55,347.66	(\$4,931.51)	117,420.16	4%
Previous 12 mos.	Bond Logistix	274,068.90	\$ (88,642.19)	(15,013.71)	\$170,413.01	8%

PREVIOUS 12 MONTH FEE ANALYSIS

Jul 2014-Jun 2015	
Investments Held (Bond Logistix)	\$ 18,715,589.54
Total Fees	\$15,013.71
Fees as % of Portfolio	0.08%

EXHIBIT A-4
CITY OF COVINA AND SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY
Investment Holdings by Sector

	Bond Logistix* Investment Book Value	Total Percentage
Money Market Fund	242,227	1.29%
U.S. Treasury	18,473,362	98.71%
Total	18,715,590	100.00%



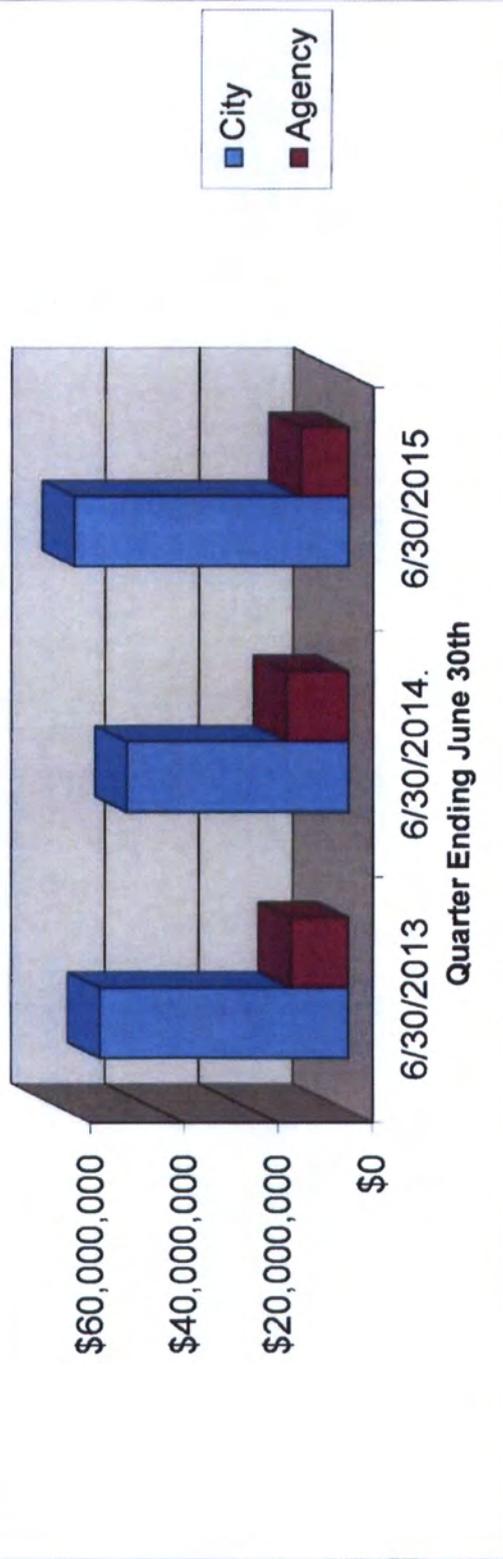
* Bond Logistix average S&P rating: AA+. Average coupon rate: 1.42% (based on weighted average of Original Cost Value)

This chart shows the breakdown of the City's investments into the various investment sectors.

Exhibit A-5
CITY OF COVINA AND SUCCESSOR AGENCY TO THE COVINA REDEVELOPMENT AGENCY
Cash and Investments Three Year Comparison

Quarter Ending	City	Agency
6/30/2013	52,975,452.01	12,296,989.81
6/30/2014	47,233,027.63	13,265,296.95
6/30/2015	58,454,014.82	10,193,045.76

City of Covina & Agency* Total Cash & Investments
Three Year Comparison



The purpose of this schedule is to show, for comparison purposes, the total cash and investment values for the last 3 years.

*Successor Agency to Covina Redevelopment Agency

EXHIBIT A-6

Local Agency Investment Fund
P.O. Box 942809
Sacramento, CA 94209-0001
(916) 653-3001
CITY OF COVINA

www.treasurer.ca.gov/pmia-laif/laif.asp
July 14, 2015

CITY TREASURER
125 E. COLLEGE STREET
COVINA, CA 91723-2199

PMA Average Monthly Yields

Account Number:

98-19-219

Tran Type Definitions

June 2015 Statement

Effective Date	Transaction Date	Tran Type	Confirm Number	Authorized Caller	Amount
6/3/2015	6/3/2015	RD	1469091	PATRICIA COLE	4,500,000.00

Account Summary

Total Deposit:	4,500,000.00	Beginning Balance:	21,923,514.27
Total Withdrawal:	0.00	Ending Balance:	26,423,514.27

EXHIBIT A-7

Local Agency Investment Fund
P.O. Box 942809
Sacramento, CA 94209-0001
(916) 653-3001

www.treasurer.ca.gov/pmia-laif/laif.asp
July 16, 2015

S/A CITY OF COVINA FOR COVINA
REDEVELOPMENT AGENCY
FINANCE DIRECTOR
125 EAST COLLEGE STREET
COVINA, CA 91723-2199

PMIA Average Monthly Yields

Account Number:

65-19-007

Transaction Definitions

June 2015 Statement

Account Summary

Total Deposit:	0.00	Beginning Balance:	1,903,946.19
Total Withdrawal:	0.00	Ending Balance:	1,903,946.19

EXHIBIT A-8

 State of California Pooled Money Investment Account Market Valuation 6/30/2015				
Description	Carrying Cost Plus		Fair Value	Accrued Interest
	Accrued Interest	Purch. Amortized Cost		
United States Treasury:				
Bills	\$ 12,478,798,026.25	\$ 12,486,334,849.86	\$ 12,490,802,500.00	NA
Notes	\$ 20,558,752,232.85	\$ 20,555,536,741.39	\$ 20,580,129,500.00	\$ 21,455,182.50
Federal Agency:				
SBA	\$ 585,671,321.30	\$ 585,666,243.58	\$ 581,898,249.19	\$ 515,761.93
MBS-REMICs	\$ 88,086,151.74	\$ 88,086,151.74	\$ 94,368,771.34	\$ 419,094.47
Debentures	\$ 1,356,989,977.45	\$ 1,356,980,116.34	\$ 1,357,742,600.00	\$ 3,825,064.96
Debentures FR	\$ -	\$ -	\$ -	\$ -
Discount Notes	\$ 6,937,478,493.01	\$ 6,939,792,520.75	\$ 6,941,176,500.00	NA
GNMA	\$ -	\$ -	\$ -	\$ -
Supranational Debenture	\$ 450,178,265.15	\$ 450,178,265.15	\$ 450,788,000.00	\$ 759,031.50
CDs and YCDs FR	\$ -	\$ -	\$ -	\$ -
Bank Notes	\$ 700,000,000.00	\$ 700,000,000.00	\$ 699,897,195.93	\$ 433,666.67
CDs and YCDs	\$ 14,650,014,748.62	\$ 14,650,014,748.62	\$ 14,642,625,872.59	\$ 4,375,027.76
Commercial Paper	\$ 5,921,030,472.27	\$ 5,922,910,944.52	\$ 5,922,245,201.40	NA
Corporate:				
Bonds FR	\$ -	\$ -	\$ -	\$ -
Bonds	\$ -	\$ -	\$ -	\$ -
Repurchase Agreements	\$ -	\$ -	\$ -	\$ -
Reverse Repurchase	\$ -	\$ -	\$ -	\$ -
Time Deposits	\$ 5,437,540,000.00	\$ 5,437,540,000.00	\$ 5,437,540,000.00	NA
AB 55 & GF Loans	\$ 441,948,027.07	\$ 441,948,027.07	\$ 441,948,027.07	NA
TOTAL	\$ 69,606,487,715.71	\$ 69,614,988,609.02	\$ 69,641,162,417.52	\$ 31,782,829.79

Fair Value Including Accrued Interest

\$ 69,672,945,247.31

Repurchase Agreements, Time Deposits, AB 55 & General Fund loans, and Reverse Repurchase agreements are carried at portfolio book value (carrying cost).

The value of each participating dollar equals the fair value divided by the amortized cost (1.000375979). As an example: if an agency has an account balance of \$20,000,000.00, then the agency would report its participation in the LAIF valued at \$20,007,519.59 or \$20,000,000.00 x 1.000375979.



CITY OF COVINA

INTER-OFFICE MEMORANDUM

EXHIBIT B

DATE: July 28, 2015

TO: Honorable Mayor and Members of the City Council
Andrea M. Miller, City Manager

FROM: Geoffrey Cobbett, Treasurer 
John Michicoff, Interim Finance Director 

SUBJECT: Quarterly Investment Report for the Quarter ended June 30, 2015

Pursuant to Section 4 of the City of Covina's Investment Policy, a quarterly investment report must be rendered to the City Council and City Manager within 30 days after the close of the quarter being reported.

Due to timing constraints and the availability of information required to complete the investment report, the June 30, 2015, quarterly report could not be completed in time to be placed on the July 21, 2015, City Council agenda. Therefore, in order to be in compliance with the City's investment policy, the quarterly investment report is transmitted to the City Council and City Manager herewith prior to the conclusion of that 30 day period.

The actual report will be placed, together with this transmittal memorandum, on the next available regular scheduled City Council meeting for formal consideration and review by the City Council and the public.

If you have any questions, please feel free to contact John Michicoff, Interim Finance Director.



CITY OF COVINA
AGENDA ITEM COMMENTARY

MEETING DATE August 18, 2015

ITEM NO. CC 6

STAFF SOURCE **Siobhan Foster, Director of Public Works**
Anne Perkins-Yin, Management Analyst

ITEM TITLE **Metrolink Complex Security Services – Authorize City Manager to Execute Eight-Month Contract Extension with Absolute Security International, Inc. and Approve Decrease in Security Hours**

STAFF RECOMMENDATION

- 1) Authorize the City Manager to execute the attached eight-month contract extension with Absolute Security International, Inc. extending the term of the agreement at the designated rate of \$15.81/hour for the period of August 18, 2015 through May 3, 2016; and
- 2) Approve a reduction in security hours at the Metrolink Complex pursuant to the approved fiscal year 2015-16 Department of Public Works budget.

FISCAL IMPACT

The fiscal impact associated with the contract extension is approximately \$46,924 based on 2,968 anticipated security hours at the designated rate of \$15.81/hour. The approved fiscal year 2015-16 Department of Public Works budget (account no. 2400-T011-52310) contains \$70,000 for Metrolink Complex security services. This is sufficient to fund security expenditures to date of approximately \$23,000 and the estimated contract extension amount of \$46,924.

BACKGROUND

On May 3, 2011, the City Council approved a contract with Absolute Security International Inc. to provide Metrolink Complex security services for a three-year period ending on May 3, 2014, in an amount not to exceed \$405,000. If mutually agreeable by both parties, the contract may be extended for up to two additional years through May 3, 2016 pending City Council approval.

Based on the satisfactory performance of the contractor, the Department of Public Works proposes to extend the contract with Absolute Security International, Inc. at the designated rate of \$15.81/hour for the period of August 18, 2015 through May 3, 2016. During this time period, the Department of Public Works will undertake a competitive selection process for security services with the intent of having the new services in place following the expiration of the contract with Absolute Security International, Inc. on May 3, 2016. Should the City complete the selection process prior to the expiration date of the contract extension, the City may terminate the contract with Absolute Security International Inc. without cause by giving 14 days notice.

To reflect the approved fiscal year 2015-16 budget of \$70,000 for Metrolink Complex security services, a reduction of \$155,000 from the 2014-15 budget of \$225,000, the Department of Public Works proposes to provide 2,968 security hours at a cost of \$46,924 between September

2015 and May 3, 2016, upon approval of the contract extension by the City Council. This represents a 4,824 hour reduction in security hours during the contract extension period when compared to the 2014-15 service level. The proposed security schedule is shown below.

Table 1 – Proposal – 2,968 Metrolink Complex Security Hours September 1, 2015 to May 3, 2016

	Monday 2 shifts	Tuesday 2 shifts	Wednesday 2 shifts	Thursday 2 shifts	Friday 2 shifts	Saturday 1 shift e/o	Sunday 0 shifts	Total
September	64	80	80	64	64	16	0	368
October	64	64	64	80	80	24	0	376
November	80	64	64	64	64	16	0	352
December	64	80	80	80	64	16	0	384
January	64	64	64	64	80	24	0	360
February	80	64	64	64	64	16	0	352
March	64	80	80	80	64	16	0	384
April	64	64	64	64	80	24	0	360
May	16	16	0	0	0	0	0	32
Total	560	576	560	560	560	152	0	2,968

Hours key:

80 hours: 16 hours/day, 5 days/month

64 hours: 16 hours/day, 4 days/month

40 hours: 8 hours/day, 5 days/month

32 hours: 8 hours/day, 4 days/month

24 hours: 8 hours/day, 3 days/month

16 hours: 8 hours/days, 2 days/month

In the proposed schedule, security service would be provided every other Saturday. No service would be provided on Sundays and holidays. The Police Department routinely patrols the Metrolink Complex. The proposed change in the security service would not affect the Police Department’s ongoing efforts at this facility.

To offset the proposed reduction in security hours, the Department of Public Works is identifying the funding necessary to purchase and install new cameras at the Metrolink station and parking structure. These cameras would feed to and be monitored by the Covina Police Department. One possible funding source for the cameras is the elimination of Metrolink parking subsidies that cost the City between \$45,000 and \$52,000 annually depending on usage. When the camera strategy is fully developed, the Department of Public Works will return to the City Council to present the concept for consideration.

The Department of Public Works will closely monitor impacts associated with the proposed reduction in security hours and be prepared to swiftly adjust hours, as needed, by reprioritizing existing appropriations in the fiscal year 2015-16 approved Department of Public Works budget and/or proposing the elimination of the Metrolink parking subsidies for this purpose instead of the camera system. Possible impacts due to the reduction in security hours may include reduced customer service and increased vandalism.

ALTERNATIVES

At least three alternatives are available to the City Council as outlined below. Should the City Council elect to pursue an alternative to Staff Recommendation, the Department of Public Works recommends Alternative 2.

Alternative 1

The City Council may direct the Department of Public Works not to reduce Metrolink Complex security hours and identify the \$76,192 in additional funding necessary to support the current service level of approximately 964 security hours/month between September 2015 and May 3, 2016. This option would equate to approximately 7,792 security hours during the contract extension period and include coverage on Saturday, Sunday and holidays.

Table 2 – Alternative 1 – 7,792 Metrolink Complex Security Hours September 1, 2015 to May 3, 2016

	Monday 4/5 shifts	Tuesday 4/5 shifts	Wednesday 4 shifts	Thursday 4 shifts	Friday 4/5 shifts	Saturday 2 shifts	Sunday 1 shift	Total
September	180	180	160	160	180	72	32	964
October	180	180	160	160	180	72	32	964
November	180	180	160	160	180	72	32	964
December	180	180	160	160	180	72	32	964
January	180	180	160	160	180	72	32	964
February	180	180	160	160	180	72	32	964
March	180	180	160	160	180	72	32	964
April	180	180	160	160	180	72	32	964
May	36	36	0	0	0	0	8	80
Total	1,476	1,476	1,280	1,280	1,440	576	264	7,792

Hours key:

180 hours: 36 hours/day, 5 days/month

160 hours: 40 hours/day, 4 days/month

72 hours: 18 hours/day, 4 days/month

32 hours: 8 hours/day, 4 days/month

Alternative 2

The City Council may direct the Department of Public Works not to reduce security hours at the Metrolink Complex as much as proposed. One such enhanced service level option would provide 3,376 security hours during the contract extension period and require \$6,375 in additional funding. This option would provide limited security service on Saturday and Sunday.

Table 3 – Alternative 2 – 3,376 Metrolink Complex Security Hours September 1, 2015 to May 3, 2016

	Monday 2 shifts	Tuesday 2 shifts	Wednesday 2 shifts	Thursday 2 shifts	Friday 2 shifts	Saturday 1 shift	Sunday 1 shift	Total
September	64	80	80	64	64	32	32	416
October	64	64	64	80	80	40	32	424
November	80	64	64	64	64	32	40	408
December	64	80	80	80	64	32	32	432
January	64	64	64	64	80	40	40	416
February	80	64	64	64	64	32	32	400
March	64	80	80	80	64	32	32	432
April	64	64	64	64	80	40	32	408
May	16	16	0	0	0	0	8	40
Total	560	576	560	560	560	280	280	3,376

Hours key:

80 hours: 16 hours/day, 5 days/month

64 hours: 16 hours/day, 4 days/month

40 hours: 8 hours/day, 5 days/month
 32 hours: 8 hours/day, 4 days/month
 24 hours: 8 hours/day, 3 days/month
 16 hours: 8 hours/days, 2 days/month

Alternative 3

Thirdly, the City Council may elect not to provide security service at the Metrolink Complex.

Summary of All Options

The following table recaps the options available to the City Council.

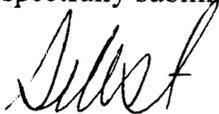
Table 4 – Security Options Available to City Council

Option	Hours During Contract Extension	Cost (\$)	Additional Appropriation (\$)
Proposal	2,968	46,924	0
Alternative 1	7,792	123,192	76,192
Alternative 2	3,376	53,375	6,375
Alternative 3	0	0	0

EXHIBIT

A. Letter Agreement to Extend Security Services with Absolute Security International, Incorporated.

Respectfully submitted



Siobhan Foster, Director of Public Works
 Public Works Department



CITY OF COVINA

125 East College Street • Covina, California 91723-2199
www.covinaca.gov

August 18, 2015

Lucy J. Lin
President
Absolute Security International, Inc.
861 S. Oak Park Road
Covina, CA 91723

RE: Extension of Transit Security Contract for Metrolink Complex Security Services with Absolute Security International, Inc.

Dear Mrs. Lin:

The enclosed contract ("Contract") between Absolute Security International, Inc., and the City of Covina for Professional Services has expired. The City is interested in continuing to utilize your services upon substantially the same terms and conditions. Thus, the City is proposing that the parties agree to extend the Contract by entering this letter agreement, pursuant to the terms and conditions stated herein.

By signing below, the parties agree as follows:

1. The Contract, titled Transit Security Services with Absolute Security International, Inc. for Covina Metrolink Complex Security Services and dated May 11, 2011 is fully incorporated herein by this reference. Except as expressly set forth herein, the terms of the Contract shall be given full force and effect as part of this agreement.
2. The term of this agreement shall be eight (8) months. This term may only be extended by the parties in writing. This term shall not automatically renew unless separately agreed in writing.
3. Either party may terminate this agreement without cause by giving the other party not less than fourteen (14) days' notice. City shall have no cost or liability to Contractor as a result of exercising its right to terminate without cause. This term shall supersede any provisions in the Contract related to termination without cause but shall not alter or replace any remedies or procedures contained in the Contract relating to terminations for cause.
4. To the extent there is a conflict between the terms set forth in this letter and the terms contained in the Contract, the terms of set forth in this letter shall control.

The City of Covina provides responsive municipal services and manages public resources to enhance the quality of life for our community.

Exhibit A, 2 Pages

5. This agreement is an integrated agreement and contains the entire agreement between the parties. This agreement does not contain any modifications to the Contract except as stated in this letter. Handwritten or other modifications shall have no effect.
6. This agreement shall be effective upon the date the last party signs in the signature block below.
7. This agreement shall not take effect until the City signs in the signature block after receiving a duly signed agreement from the Contractor. City reserves the right to decline to enter the agreement.
8. The signatories signing this agreement are duly authorized to bind the parties hereto.
9. Notices sent under this agreement shall be sent to Contractor at the address contained in the Contract unless the following is completed:

Contractor: Absolute Security International, Inc.
 Attn: Lucy J. Lin
 Address: 861 S. Oak Park Road
 Covina CA 91724
 Phone: (626) 858-7188
 Facsimile: (626) 858-2882
 E-mail: llin@absolutesecurityintl.com

If you are interested in extending the Contract pursuant to these terms and conditions, please sign in the signature block below and return to the City. Upon receipt of a signed agreement, the City will inform you within a reasonable time whether the City will enter the agreement. If entered, the City will send you a fully executed copy of this agreement. If you have questions, please contact Public Works Director, Siobhan Foster at (626) 384-5217.

CITY OF COVINA

Absolute Security International, Inc.

 Andrea Miller, City Manager

 Lucy J. Lin, President

 August 18, 2015

 August 18, 2015



CITY OF COVINA
AGENDA ITEM COMMENTARY

MEETING DATE August 18, 2015

ITEM NO. CC 7

STAFF SOURCE Kim J. Raney, Chief of Police

ITEM TITLE Amendment to Food Services Agreement between County of Los Angeles and the City of Covina

STAFF RECOMMENDATION

Approve amendment number two to the Food Services Agreement between the County of Los Angeles and the City of Covina and authorize the City Manager to execute.

FISCAL IMPACT

The Police Department currently budgets for this expenditure in account 1010-1150-54410 and it is not anticipated that any additional funding will be needed for fiscal year 2015-2016.

BACKGROUND

The Police Department Jail duties include providing prisoners with meals on a regular basis for the duration of their stay in the Covina Jail facility. These meals are periodically evaluated by the Los Angeles County Health Department to ensure that they meet the nutritional and caloric requirements established by the Food and Nutrition Board of the National Research Council, Institute of Medicine of the National Academies, the California Daily Food Guide and the Dietary Guidelines for Americans, in accordance with the California Code of Regulations Title 15.

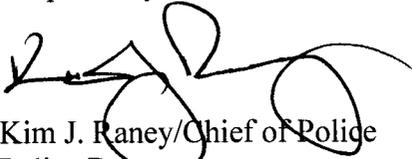
The Los Angeles Sheriff's Department Food Services Unit (FSU) is the best option to provide prisoner meals because it falls under the same umbrella agency, the County of Los Angeles, and the prisoner meals provided will always be in compliance with Los Angeles County Health Department nutritional requirements

The City has had an agreement with the County of Los Angeles since 2013. Section 4.3 of the agreement provides the County with the right to adjust the billing rates if there is a change in the cost for providing services. The current rate per meal is \$2.35. The proposed rate of \$2.41 is an increase of six cents per meal. During the 2014-2015 fiscal year, 5,114 meals were provided for a total of \$12,018. While it is unknown how many meals will be provided for 2015-2016, the same number of meals at the new rate would result in an increase of \$307.

EXHIBITS

- A. Los Angeles County Food Services Agreement Amendment number two.

Respectfully submitted

A handwritten signature in black ink, appearing to read 'Kim J. Raney', with a large, stylized flourish extending to the right.

Kim J. Raney/Chief of Police
Police Department

**AMENDMENT NUMBER TWO
TO
FOOD SERVICES AGREEMENT**

This Amendment Number Two ("Amendment") to Food Services Agreement ("Agreement") is made by and between by the County of Los Angeles ("COUNTY") and the City of Covina ("CITY,"), effective July 1, 2015.

RECITALS

- A. WHEREAS, on July 2, 2013, COUNTY and CITY entered into the Agreement for food services to be provided to prisoners of the CITY jail facility; and
- B. WHEREAS, Section 4.3 of the Agreement provides COUNTY the right to adjust the billing rates set forth in Attachment B, Food Services-City Contract Rates, of the Agreement when the costs for providing the services change; and
- C. WHEREAS, the COUNTY Auditor-Controller has established the rates for Fiscal Year 2015-2016; and
- D. WHEREAS, COUNTY and CITY agree to amend the Agreement pursuant to Section 4.3 of the Agreement to adjust the rates for Fiscal Year 2015-2016.

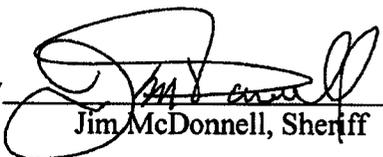
NOW THEREFORE, in consideration of the mutual covenants contained herein, and for good and valuable consideration, the parties mutually agree to amend the Agreement as follows:

- 1. Attachment B, Food Services-City Contract Rates, of the Agreement is deleted in its entirety and replaced with the attached revised Attachment B, Food Services-City Contract Rates, to modify the billing rates for Fiscal Year 2015-2016.
- 2. CITY and the person executing this Amendment on behalf of the CITY hereby represent and warrant that the person executing this Amendment for CITY is an authorized agent who has actual authority to bind the CITY to each and every provision, term, and condition of the Amendment and that all CITY requirements have been fulfilled to provide such actual authority.
- 3. Except as provided in this Amendment, all other provisions, terms, and conditions of the Agreement shall remain the same and in full force and effect.

**AMENDMENT NUMBER TWO
TO
FOOD SERVICES AGREEMENT**

IN WITNESS WHEREOF, the County of Los Angeles has caused this Amendment to be executed on its behalf by the Sheriff of the County of Los Angeles, and CITY has caused this Amendment to be executed on its behalf by its duly authorized representative, on the dates written below.

COUNTY OF LOS ANGELES

By  _____
Jim McDonnell, Sheriff

Date 7-6-15

APPROVED AS TO FORM:
MARK J. SALADINO
County Counsel

By  _____
Senior Deputy County Counsel

CITY OF COVINA

By _____

Date _____

APPROVED AS TO FORM:

By _____
City Attorney

ATTACHMENT B

COUNTY OF LOS ANGELES

SHERIFF'S DEPARTMENT

"A tradition of Service"

Since 1850

FOOD SERVICES - CITY CONTRACT RATES

RATES for FOOD SERVICES

FISCAL YEAR 2015-2016



PER MEAL

\$2.41



CLEB:05/21/15 jtm

EXHIBIT A

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CITY OF COVINA
AGENDA ITEM COMMENTARY

MEETING DATE August 18, 2015

ITEM NO. CC 8

STAFF SOURCE Kim J. Raney, Chief of Police

ITEM TITLE Animal Control Service Level Request and Changes to Billing Rates

STAFF RECOMMENDATION

1. Approve the FY 2015-16 Service Level Request which includes changes to billing rates with the County of Los Angeles Department of Animal Care and Control.

2. Authorize the City Manager to execute the FY 2015-16 Service Level Request on behalf of the City of Covina.

FISCAL IMPACT

FY 2015-16 billing rates have increased which translates to a 20% cost increase for the City of Covina (Exhibit C). This increase is an estimate based on FY 14-15 monthly actuals. Actual cost will be offset by License /Penalty Fee Credits collected on the City's behalf. There is a total \$125,000 in the current Police Department Budget for animal control services, enough to cover this anticipated increase.

BACKGROUND

The City of Covina contracts with the Los Angeles County Department of Animal Care and Control (Department) for comprehensive animal control services. These services include kennel services, dog license processing, dead animal disposal, field services and enforcement. Every year the Department notifies the City of any adjustments to billing rates and allows the City to make any desired service level changes through a supplemental agreement called "Service Level Request" (Exhibit A). This document provides the Department with an acknowledgment of planned services and allows for operational planning and deployment of resources.

EXHIBITS

- A. FY 2015-16 Service Level Request/Billing Rates
- B. Description of Services Provided
- C. FY 2015-16 Budgetary Estimates (Service Level Schedule)

Respectfully submitted,

Kim J. Raney/Chief of Police
Police Department

CITY-COUNTY MUNICIPAL SERVICES AGREEMENT

COUNTY OF LOS ANGELES
DEPARTMENT OF ANIMAL CARE AND CONTROL

AND

THE CITY OF

COVINA

FISCAL YEAR 2015-16 SERVICE LEVEL REQUEST

Part One: Billing Rates for the period July 1, 2015, through June 30, 2016

Kennel Services*	
Dog and Cat per day	\$23.79
Other animals per day	\$11.23
Observation per day	\$28.55
Dog license processing per license	\$ 2.58
Dead animal disposal per animal	\$13.74
Field Services per hour	\$86.43
Animal License Field Enforcement per hour	\$70.10
Liability Trust Fund (applied to Field Services and Animal License Field Enforcement hourly amounts only)	4%

Part Two: Annual/Amended Service Request Approval

_____ Authorized Representative (Printed Name)	_____ Authorized Signature (Signature)	_____ Date
_____ Title	_____ Telephone Number	

Part Three: Annual Service Level

Standard Shelter Services:

Full Service - All animals acquired in the field, within the boundaries of the City or determined to have originated within the boundaries of the City, may be impounded at a County animal care center. Impounded animals will be vaccinated and provided medical care, food, and shelter. The animal's picture will generally be posted on the Department's website to assist residents in reclaiming a lost or missing pet. Residents may also visit the associated animal care center to find their lost or missing pet. The hours of operation of each animal care center are scheduled at the discretion of the Department. **See Part One for the associated shelter services billing rates. Primary animal care center*: (Baldwin Park Animal Care Center)**

*The Department shall take reasonable action to shelter all animals at this location. There may be circumstances in which the Department must shelter animals at an alternate location. In general, such sheltering shall be temporary and animals shall subsequently be transferred to the primary animal care center.

Contract cities are charged for the first five days of care for animals impounded within the city's jurisdiction. If an animal leaves our care earlier for any reason, cities will be charged based upon the actual number of days (1-4). If an animal is redeemed, the redemption fees collected from owners will be credited to the city up to the maximum number of days that would otherwise be billed. The County assumes liability and disposition of these animals after five days with the exception of animals held as a result of a seizure or criminal case, abandoned animals, observation animals (quarantine), potentially dangerous or vicious dogs, and return to owner animals.

Below are the kennel services maximum number of days billed and the description:

*Kennel Services Description	Maximum number of days billed
Kennel Services: Stray or relinquished animals.	5 days
Private Veterinarian: If the owner is unable to be located and the injury or condition is life threatening and the scene of the incident is not in the vicinity of a County animal care center, or if the medical staff at the animal care center are not available, the animal will be taken to the nearest private contract veterinarian. Cities will be charged for the private contracted veterinarian visit.	5 days
Observation Animals: Animal bite that causes any penetration of the skin by teeth which requires a bite report be taken and the animal quarantined. The animal will be placed in quarantine confinement and observed for ten (10) days minimum from the date of the bite at the discretion of the Department of Veterinary Public Health.	10 days
Return to Owner Animal: The owner or person entitled to the custody of any animal impounded can redeem such animal by paying impound and boarding fees accruing up to the time of such redemption.	10 days
Abandoned Animals: Hold at least fifteen (15) calendar days; determine whether the owner had an agreement with someone to care for the animal in their absence, post a Form 58 (Notice of Impoundment) at the premises for the owner if they return, and mail a registered or certified letter to the last address	15 days
Special Intake: Animals that are Confiscated, Court Case, Police Request, Owner Arrested, Potentially Dangerous or Vicious Dog	Unlimited days

Field Services:

The County will provide the services set forth below in accordance with the provisions of the Los Angeles County Code, Title 10 - Animals, and all amendments, except as otherwise agreed to by the parties in this Service Level Request.

- Standard Service Plan - Includes answering calls for service (24 hours per day, daily); dispatching or assigning field staff; and performance of duties in the field based on priority, location, and availability of staff.

- Limited Standard Service Plan:
 - o Daily between the hours of ____ (a.m./p.m.) and ____ (a.m./p.m.)
 - o Weekend days and holidays
 - o Emergency Services (specific to natural or manmade disaster)- As needed
 - o Humane Investigations and Prosecution - As needed

Regular Business hour contact information:

Department Name: _____

Telephone: _____

Address: _____

- No Field Services

Outreach and Enforcement Services:

County will enforce the fees set forth in Los Angeles County Code Section 10.90.010 et seq. unless the City provides an alternate fee schedule approved by the City and provided to the County.

Animal License Field Enforcement

License Enforcement Services - Provides for dedicated staff to perform license enforcement activities (issuing new licenses, license renewals, collecting delinquency charges and other fees) in the field.

- Authorized Animal License Enforcement Services
 - o County and City shall subsequently agree to the time and scope of this service.
 - Note: All license enforcement revenue collected will be contributed toward offsetting the cost of services.

- No Animal License Enforcement Services

Animal Facility Licensing

Animal Facility Licensing Services - Provides for dedicated staff to perform animal facility inspection and licensing to any lot, building, structure, enclosure, or premises for any animal related business or organization which is required to be licensed. The animal facility licensing staff inspects animal related facilities annually and when otherwise necessary, to ensure the health and safety of the public and animals. Businesses are provided a letter grade based on the results of the inspection. Animal facility licenses are generally valid for one year from the date of issue. The Department will inspect animal facilities and any revenues collected will offset services.

- Animal Facility Licensing
 - Licensing and Inspection/Grading Services
- No Animal Facility Licensing

Clinic(s)

In addition to the vaccination and licensing services provided in all County animal care centers, the city may request the following additional services in its jurisdiction by checking the applicable box(es):

- Request County to provide or arrange for vaccination clinic(s) in its jurisdiction;
- If a vaccination clinic(s) is/are requested by checking the box above, the City also requests County to provide personnel to license animals during the vaccination clinic.
- No Vaccination or Licensing Clinics Services

Part Four: License Information (required if the Department manages City licensing)

Standard Licensing Services:

License renewal notices are mailed or transmitted to the animal owner of record, the renewal and payment is received and processed annually on a fee-per-license basis. Licenses will be required before an animal will be released to a resident of a City participating in the Standard Licensing Services program. Fees from licenses collected will be credited to the City monthly in arrears.

- City has adopted the license fees outlined in Title 10 of the Los Angeles County Code

Altered Dog	\$ <u>20.00</u>	Altered Cat	\$ 5.00
Unaltered Dog	\$ <u>60.00</u>	Unaltered Cat	\$ 10.00
Senior-owned* Dog	\$ <u>7.50</u>	*Senior age is defined as <u>60</u> years.	
Delinquency Charge	\$ <u>Equal to Amount of License</u>		
Delinquency Charge applies after: <u>10 days</u>			
Field Enforcement Fee	\$ <u>40.00</u> (licensing initiated in the field)		

- City has adopted the following license fees:

Altered Dog	\$ _____	Altered Cat	\$ _____
Unaltered Dog	\$ _____	Unaltered Cat	\$ _____
Senior-owned* Dog	\$ _____	Senior-owned* Cat	\$ _____
_____	\$ _____	_____	\$ _____

*Senior age is defined as _____ years.

Delinquency Charge \$ _____

Delinquency Charge applies after: _____ days.

Field Enforcement Fee \$ _____ (licensing initiated in the field)

Current license fees adopted by the City on _____, 20_____.

- No Animal Licensing Services

Records:

Upon reasonable notice, the Department shall make available to authorized representatives of the City of Covina, for examination, audit, excerpt, copy, or transcription, any pertinent transaction, activity, or other record relating to this Agreement. The City of Covina shall ensure such records are handled in a manner consistent with all applicable privacy laws and all related to public records, including, but not limited to the Public Records Act (Government Code § 6250 et. seq.).

Part Six: Contact Information

Primary Contact

Name: Raymond Navera
Address: Covina PD 444 N. Citrus Ave.
Covina, CA 91723
Telephone: (626) 384-5603
Alt. Telephone: ()
E-mail: rnavera@covinaca.gov

Alternate Contact

Name: Lt. John Curley
Address: Covina PD 444 N. Citrus Ave.
Covina, CA 91723
Telephone: (626) 384-5665
Alt. Telephone: ()
E-mail: jcurley@covinaca.gov

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Los Angeles County
Department of Animal Care and Control
Description of Services Provided

Field Services

Resources dedicated to providing quality animal care services in the field. Activities involve field officers performing a variety of tasks utilizing appropriate equipment. These tasks (with an exception of the services that pose a safety risk to the Director or designee) include:

- Immediate response to vicious/dangerous animals that pose a public safety threat;
- Capture and impoundment of stray domestic animals;
- Impoundment of animals surrendered by their owners;
- Pick up and disposal of dead animals on public highways and on public and private property, excluding: Garbage Disposal Districts; animals on beaches that weigh more than 150 pounds; or where a large number of animals have died requiring specialized equipment and/or skills beyond the capability of the department.
- Enforcement of all animal-related ordinances and state laws including leash laws, animal cruelty laws, dangerous/vicious dog enforcement, and the keeping of wild or exotic animals;
- Investigate Potentially Dangerous and Vicious Dog cases; prepare appropriate petitions; and conduct administrative hearings consistent with state and county laws;
- Rescue of ill, injured, or abused animals;
- Enforcement of animal nuisance complaints such as barking dogs and leash law violations;
- Assist local law enforcement with their cases when animals are involved such as the service of search warrants and impounding animals belonging to persons taken into custody;
- Emergency response to fires, earthquakes, floods, and other natural or manmade disasters to rescue animals from harm; and
- Maintain 24-hour dispatch and communication center to receive calls for service and dispatch them to officers for field response

Shelter Services

Represents services dedicated to providing a comfortable and safe environment to animals sheltered at Animal Care Centers. Shelter services include:

- Providing food, water, and shelter medical care for impounded animals;
- Holding stray animals and attempting to reunite them with their owners;
- Finding new adoptive homes for domestic animals;
- Working with wildlife rehabilitators to rescue sick and injured wildlife;
- Providing emergency sheltering to animals displaced by wildfires or other disasters;
- Spay and neuter services for all dogs and cats adopted pursuant to state law;
- Performing surgeries to make animals more adoptable;
- Euthanizing sick, injured, dangerous, feral, or unadoptable animals;
- Quarantine and observation of animals for rabies;
- File annual reports to the State of California as required by law;
- Disposal of dead animals;
- Maintain website of lost and surrendered animals so owners may locate their lost animals and potential adopters may find a new pet; and
- Maintain regular hours of operation for the public

Licensing

Represents resources for providing the issuance and processing of licenses. This function includes:

- Issuance of animal licenses to animals that have been vaccinated against rabies;
- Processing license applications, payments, and information changes;
- Issuing license renewal notices;
- Assessing and collecting fees, penalties, and other financial remittances; and
- Maintenance of animal licensing database

Animal Licensing Field Enforcement

Represents services dedicated to providing field enforcement for animal license compliance. This program includes:

- Neighborhood field enforcement of animal licensing and other State and local laws and ordinances;
- Issuing citations to violators of animal licensing ordinances; and
- Collecting license revenue

Animal Facility Licensing

Represents the process to issue and enforce licenses provided to private businesses involved in regulated activities related to animals. This program includes:

- Annually inspect and license animal facilities such as pet shops, breeders, animal menageries, grooming parlors, and all other places where animals are maintained for profit or business activities; and
- Issue grades to facilities, similar to the County of Los Angeles Public Health Department's Restaurant Grading System

Vaccination and Microchip Clinics

Represents resources to provide vaccines and microchips, including:

- Provide low cost vaccinations and microchips;
- Staff with medical personnel and necessary support staff;
- Assist jurisdictions in promoting community based clinics; and
- Provide regular vaccination and licensing clinics at each County of Los Angeles Animal Care Center

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COUNTY OF LOS ANGELES
DEPARTMENT OF ANIMAL AND CONTROL
COVINA - SERVICE LEVELS SCHEDULE

City / Service Description	# of Animal	Unit	Estimated Actual FY 14/15			Estimated FY 15/16		
			Billing Rates	# of Unit	* Cost Amount	** Billing Rates	# of Unit	* Cost Amount
Covina								
Kennel Housing - Dog & Cat	853	Days	\$ 20.07	3,328	\$ 66,793	\$ 23.79	3,328	\$ 79,173
Kennel Housing - Other Animals	77	Days	\$ 9.95	139	\$ 1,383	\$ 11.23	139	\$ 1,561
Special Care Housing	32	Days	\$ 24.08	73	\$ 1,758	\$ 28.55	73	\$ 2,084
Disposal of Dead Animals		Each	\$ 12.84	291	\$ 3,736	\$ 13.74	291	\$ 3,998
Private Vet		Each	Varies	29	\$ 1,868	Varies	29	\$ 1,868
Field Services***		Hours	\$ 85.02	1,385	\$ 117,753	\$ 86.43	1,385	\$ 119,706
Animal License Enforcement Services		Hours	\$ 67.34	6	\$ 404	\$ 70.10	6	\$ 421
Liability Insurance (4% Field and Animal License Enforcement Services)		Licenses	\$ 2.45	4,395	\$ 10,768	\$ 2.58	4,395	\$ 11,339
License Processing Fee								
Redemption Fee					\$ (7,100)			\$ (7,100)
License/Penalty Fee Credits					\$ (121,624)			\$ (121,624)
Total City Net Cost					<u>\$ 80,465</u>			<u>\$ 96,230</u>
								20%

* Service Levels Schedule is an estimate only (based on the current fiscal year 10 months actual) and is for your reference. City is liable for actual cost.
 ** FY 15/16 Billing Rate approved by Los Angeles County Auditor-Controller to be effected on July 1, 2015

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CITY OF COVINA
AGENDA ITEM COMMENTARY

MEETING DATE: August 18, 2015

ITEM NO. CC 9

STAFF SOURCE: Danielle Tellez, Human Resources Director

ITEM TITLE: City Council to approve Professional Services Agreement with AdminSure, Inc., for Workers' Compensation Claims Administration for the Period of September 1, 2015 through August 31, 2018

STAFF RECOMMENDATION

Approve the contract with AdminSure, Inc., for Workers' Compensation Administration Services for the Period of September 1, 2015 through August 31, 2018 and authorize the City Manager to execute the contract for services.

FISCAL IMPACT

The contract amount provides for third party workers' compensation claims administration fees of \$67,200 annually (\$5,600 monthly) during year one. Any increases for years two and three are negotiable and shall not exceed a 3% increase per year. Additionally, AdminSure, Inc., will provide utilization review (UR), registered nurse (RN) review, peer (medical professional) review, and medical bill review services. The total cost of these services are dependent upon a number of factors including the number of work related injuries reported, doctor visits, and recommended treatment by medical professionals. However, these fees will also be based on flat rate fee schedule. Based on the City's history over the past two years, staff does not expect these fees to exceed \$20,000 annually.

Funding for the agreement is available in the Human Resources Department Workers' Compensation account No. 1010-0850-51310.

BACKGROUND

The City entered into a three-year contract with Keenan & Associates "Keenan" for third party workers' compensation claims administration services on October 1, 2011 with an additional two-year option. The City is currently in year two of the two-year option.

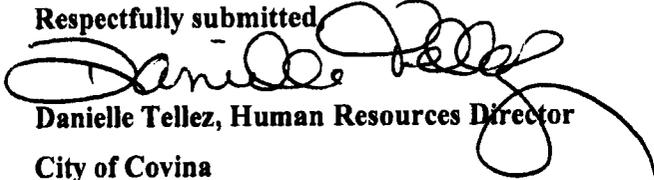
Upon review of the existing services provided by Keenan as well as the need to test the market place for potential savings opportunities and service enhancements in the existing workers' compensation program, staff issued a Request For Proposals (RFP) in early July, 2015. Two proposals were received. Based upon review of the proposals submitted, AdminSure, Inc. is the lowest responsible bidder. The proposal is also consistent with the City's goals and objectives as outlined in the RFP.

RELEVANCE TO THE STRATEGIC PLAN

The Strategic Plan Core Strategies provides that the City secure a sound, sustainable financial position. Amongst the goals and objectives of this core strategy is to utilize contract services

efficiently and effectively. In order to do so, each City department will evaluate all current service provider contracts and proceed with necessary changes to service contracts accordingly.

Respectfully submitted,



Danielle Telez, Human Resources Director
City of Covina

EXHIBITS

A. Agreement with AdminSure, Inc.

WORKERS' COMPENSATION ADMINISTRATION

SERVICE AGREEMENT

THIS AGREEMENT is entered into By and between the City of Covina, hereinafter referred to as the "Client," and AdminSure Inc., a California Corporation, hereinafter referred to as the "Administrator."

WHEREAS, the Client has undertaken to self-insure their Workers' Compensation obligation; and

WHEREAS, the Administrator is engaged in the business of administering Workers' Compensation Self-Insurance Programs; and

WHEREAS, the Client desires to retain the services of the Administrator to administer a Workers' Compensation Self-Insurance Program, hereinafter referred to as the "Program," for the Client;

NOW, THEREFORE, the Client hereby retains the services of the Administrator and the Administrator agrees to perform the services for the Client under the terms and conditions of this Agreement.

TERMS AND CONDITIONS

1. **TERM:** This Agreement shall become effective September 1, 2015 and shall continue unless terminated by the cancellation provision set forth herein.

2. **PERIODIC MEETINGS:** The Administrator shall meet with the Client and staff periodically to:

- A. Assist in developing internal procedures.
- B. Provide orientation and training to personnel involved in the administration of the Program.
- C. Discuss specific claims and general trends in the Program.

3. **ADVISORY SERVICES:** The Administrator shall provide the Client information regarding the adoption, amendment or repeal of all Statutes, Rules and Regulations, et cetera, which may directly affect the Program.

4. **REQUIRED FORMS:** The Administrator shall provide the Client with all forms required by the State in connection with the Program.

5. **COMPLIANCE WITH LAW:** The Administrator shall administer the Program in full compliance with all laws, rules and regulations governing Workers' Compensation and Self-Insurance.

6. **CLAIMS ADMINISTRATION:** The Administrator shall comply with all performance standards of the Client's excess insurer. The Administrator shall also comply with the Administrator's Workers' Compensation Claims Administration Standards, but under no circumstances are they to be construed as having precedence over the performance standards of the Client's excess insurer. The Administrator shall also have the authority and responsibility to provide claims administration services, which include:

- A. Establishing an electronic claim file and computer database record upon receipt of an injury report.
- B. Setting and updating reserves.
- C. Initiating and maintaining contact with injured workers or their attorneys.
- D. Arranging for investigation.
- E. Determining compensability.
- F. Preparing and issuing benefit notices, if applicable.
- G. Arranging for medical treatment and medical services from clinics, facilities, pharmacies, hospitals, specialists, and other vendors as necessary.
- H. Performing all utilization review services through MedReview; communicating decisions to approve, modify, delay or deny medical treatment in accordance with State law.
- I. Monitoring disability status by reviewing medical reports and contacting doctors for updates.
- J. Auditing and reviewing all medical bills through MedReview and paying all properly adjusted medical bills in a timely and accurate manner.
- K. Paying mileage or medical reimbursements to injured workers.
- L. Paying temporary disability compensation when appropriate to do so or advising the Client of the need to adjust payroll records when salary continuation is applicable.

- M. Arranging medical exams in conformance with State law to determine whether an injured worker's medical condition is permanent and stationary (reached Maximum Medical Improvement/MMI) and what, if any, permanent disability exists.
- N. Paying the permanent disability compensation in accordance with the law.
- O. Arranging for attorney representation of the Client whenever the need arises.
- P. Monitoring attorneys and assisting them in preparing cases. Including appearing at hearings and providing all necessary documents required for the hearing.
- Q. Auditing and paying legal expenses.
- R. Arranging for vocational rehabilitation services when appropriate, monitoring vocational rehabilitation consultants and assisting them as necessary.
- S. Auditing and paying vocational rehabilitation expenses.
- T. Attending all hearings that are required by law.
- U. Preparing and issuing Vocational Rehabilitation/Supplemental Job Displacement Benefits (SJDB) notices.
- V. Preparing and issuing the permanent disability compensation notices.
- W. Pursuing subrogation when there is a viable third party.
- X. Notifying the Client and excess insurers of all claims which exceed or may exceed the self-insurance retention; maintaining a liaison among the Client and their excess insurers on matters affecting the handling of such claims and arranging for reimbursement to the Client of losses in excess of its self-insurance retention.
- Y. Obtaining settlement authority and negotiating settlement on appropriate claims.
- Z. Closing claim files when appropriate to do so.

7. OBLIGATIONS OF THE CLIENT: The Client shall:

- A. Submit all reports of work injury to the Administrator in a timely manner not to exceed two business days of the Client's knowledge of the injury.
- B. Respond to the Administrator's requests for information and authority within five days of such requests.

- C. Provide information that is accurate and is in a form specified by the Administrator.
- D. Grant settlement authority to the Administrator in advance of WCAB, Rehabilitation, and legal hearings, or be available by phone or in person during same.

8. CHECKING ACCOUNT: The client and the Administrator agree that:

- A. The Client shall establish and maintain a checking account from which all Workers' Compensation benefits and expenses are to be paid.
- B. The Administrator shall prepare checks and issue those checks directly to payees without delay.
- C. The Administrator shall sign checks with a facsimile signature or manually.
- D. The Administrator shall secure checks in a locked area accessible to a limited number of authorized personnel.
- E. The Client shall maintain an adequate balance in their checking account to meet all Workers' Compensation obligations without delay.
- F. The checking account may be used to pay penalties in which case the Administrator shall reimburse the Client within fifteen (15) working days for any amount of the penalty which the Administrator caused.

9. ELECTRONIC DATA PROCESSING: The Administrator shall provide the Client with electronic data processing services that will allow for the production of loss experience and transaction reports within ten (10) days following the close of each calendar month.

10. REGULATORY REPORTING: The Administrator shall prepare all reports required by State and Federal regulatory agencies (if any) in connection with the Program, including the Self-Insurer's Annual Report required by the Department of Self-Insurance Plans.

11. RECORDS: The Administrator shall establish and maintain electronic claim files, claim logs, transaction documents and all other records associated with the Program. These records shall be the property of the Client. Unless this Agreement is cancelled,

closed hard files, if any, shall be stored by the Administrator for five (5) years and shall thereafter become the responsibility of the Client. Upon cancellation of this Agreement, the Client shall be responsible for maintaining and storing all data, records, et cetera. The Administrator shall not dispose of or destroy hard files without the prior, written authorization of the Client.

12. CONSIDERATION: For the first year, September 1, 2015 through August 31, 2016, of this Agreement, the Client shall pay the Administrator \$5,600 per month for Claims Administration Services rendered under this Agreement and a one-time, at-cost \$9,750 data conversion fee.

For all subsequent years, from September 1 to August 31, any increases to the contract and any fees associated with the contract shall be subject to negotiation upon a review of the services rendered to the City. Any increases shall never exceed a 3% increase per year.

The Client shall allow the Administrator to perform all Bill Review Services through MedReview. Bill review fees are at the flat rate of \$10 per bill.

The Client shall allow the Administrator to perform all Utilization Review Services through MedReview and all Utilization Review Services will be based on an approved schedule provided by the Client. Utilization review fees are incorporated into medical bill review invoices at the rate of 5% of billed charges. The maximum utilization review fee charged per medical bill is capped at \$750. Utilization review by a physician is billed separately in 10-minute increments, at the rate of \$200 per hour.

13. ALLOCATED EXPENSES: The Client shall pay for field investigation, defense attorneys, legal costs, remote photocopy, engineering experts, accident reconstruction experts, process servers, messenger service, court reporters, vocational rehabilitation consultants, structured settlement consultants, translators, and any other vendor necessary to administer claim files.

14. PENALTIES: The Administrator shall be responsible for paying or appealing penalties that are caused by the Administrator. The Administrator shall not be responsible for penalties that are caused by the Client or any third parties.

15. INDEMNIFICATION: The Administrator to the fullest extent permitted by law, shall completely and totally indemnify, hold harmless, and defend the Client, its officers, directors, council members, employees, agents and assigns from any and all claims, legal actions, losses, expenses, injuries, or damages arising out of the Administrator or anyone directly or indirectly employed by Administrator or anyone whose acts Administrator may be liable for any negligence, breach of any of the terms of this agreement, or intentional wrongdoing incident to the performance of this Agreement, including, but not limited to court costs and attorneys' fees which in any way arise out of or result from Administrator's conduct as heretofore mentioned in this agreement

16. INSURANCE: The Administrator shall:

- A. Maintain in force at all times General and Professional Liability Insurance in the amount of two million (\$2,000,000) dollars.
- B. Maintain in force at all times a Fidelity Bond in the amount of one million (\$1,000,000) dollars.
- C. Maintain in force at all times Errors and Omissions Insurance in the amount of no less than three million (\$3,000,000) dollars/five million (\$5,000,000) dollars per occurrence/aggregate and shall not be subject to a deductible and/or self-insured retention of greater than one-hundred thousand (\$100,000) dollars.
- D. Maintain in force at all times Workers' Compensation Insurance for employees of the Administrator, as required by law.
- E. Notify the Client in writing sixty (60) days prior to any cancellation or reduction in the above coverages.
- F. Maintain evidence of the above coverages on file with the Client throughout the term of this Agreement.

17. NOTICES: All notices, demands, requests, or approvals which are required under this Agreement, or which either the Client or the Administrator may desire to serve upon the other, shall be in writing and shall be conclusively deemed served when delivered

personally, or forty-eight (48) hours after the deposit thereof in the United States Mail with postage pre-paid. All notices sent to the City of Covina shall be addressed to the Director of Human Resources, Human Resources Department, 125 E. College Avenue, Covina, CA 91723. All notices sent to AdminSure, Inc. shall be address to the Vice President/Director of Operations, 1470 South Valley Vista Drive, Suite 230, Diamond Bar, CA 91765.

18. CANCELLATION: This Agreement may be cancelled by the Client, or the Administrator, giving to the other, in writing, notice as set forth in section 17 above of its intention to cancel this Agreement at least sixty (60) days prior to the date of termination. Upon the date of termination of this Agreement, or the date on which records are transferred to another custodian, whichever occurs first, the Administrator shall no longer have the authority or responsibility to administer claims or perform any service on behalf of the Client.

19. PARTIAL INVALIDITY: If any provision of this Agreement is held by a competent court to be invalid, void or unenforceable, the remaining provisions shall nevertheless continue in full force and effect.

20. GOVERNING LAW: The validity of this Agreement and of any of its terms and provisions shall be interpreted pursuant to the Laws of the State of California.

21. INTERPRETATION: The terms and conditions of this Agreement shall be construed pursuant to their plain, ordinary meaning and shall not be interpreted against the maker.

22. ASSIGNMENT: The Administrator shall not assign, sublet, transfer by operation of law, or otherwise any or all of its rights, burdens, duties, or obligations of this Agreement without the prior, written consent of the Client.

23. CONFLICT OF INTEREST: The Administrator shall avoid all conflicts of interest or appearance of conflicts of interest in performance of this Agreement. If the Administrator receives compensation from the Client for services not included in this Agreement, the Administrator shall disclose such fees received on an annual basis to the

Client. Such disclosure shall be in the form of a letter and shall be received by the Client on or before July 15th of each year.

24. ENTIRE CONTRACT: This instrument contains the entire Agreement between the parties relating to the rights herein granted and obligations herein assumed. Any oral representations or modifications concerning this instrument shall be of no force or effect. Subsequent modifications shall be made in writing with the agreement of the parties.

DATED: _____ ADMINSURE INC.

BY: _____
Alithia Vargas-Flores, Vice President

DATED: _____ CITY OF COVINA

BY: _____
Andrea Miller, City Manager

DATED: _____ APPROVED AS TO FORM

BY: _____

EXHIBITS

A. Resolution No 15-7385

B. 2014-15 CMP Local Development Report

Respectfully submitted

A handwritten signature in black ink, appearing to read 'Siobhan Foster', written in a cursive style.

Siobhan Foster/Director of Public Works
Public Works Department

RESOLUTION NO. 15-7385

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF COVINA, CALIFORNIA, FINDING THE CITY TO BE IN CONFORMANCE WITH THE CONGESTION MANAGEMENT PROGRAM (CMP) AND ADOPTING THE CMP LOCAL DEVELOPMENT REPORT, IN ACCORDANCE WITH CALIFORNIA GOVERNMENT CODE SECTION 65089

WHEREAS, CMP statute requires the Los Angeles County Metropolitan Transportation Authority (“LACMTA”), acting as the Congestion Management Agency for Los Angeles County, to annually determine that the County and cities within the County are conforming to all CMP requirements; and

WHEREAS, LACMTA requires submittal of the CMP Local Development Report by September 1 of each year; and

WHEREAS, the City Council held a noticed public hearing on August 18, 2015.

NOW, THEREFORE, THE CITY COUNCIL FOR THE CITY OF COVINA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. That the City has taken all of the following actions, and that the City is in conformance with all applicable requirements of 2010 CAMP adopted by the LACMTA Board on October 28, 2010:

- A. By June 15, of odd-numbered years, the City will conduct annual traffic counts and calculated levels of service for selected arterial intersections consistent with the requirements identified in the CMP Highway and Roadway System chapter.
- B. The City has locally adopted and continues to implement a transportation demand management ordinance, consistent with the minimum requirements identified in the CMP Transportation Demand Management chapter.
- C. The City has locally adopted and continues to implement a land use analysis program, consistent with the minimum requirements identified in the CMP Land Use Analysis Program chapter.
- D. The City has adopted a Local Development Report, attached hereto and made part hereof, consistent with the requirements identified in the 2010 CMP. This report balances traffic congestion impacts due to growth within the City with transportation improvements, and demonstrates that the City is meeting its responsibilities under the Countywide Deficiency Plan consistent with the LACMTA Board adopted 2003 Short Range Transportation Plan.

SECTION 2. That the City Clerk shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the Los Angeles County Metropolitan Transportation Authority.

PASSED, APPROVED AND ADOPTED THIS 18TH DAY OF AUGUST 2015.

John C. King, Mayor

ATTEST:

Interim Chief Deputy City Clerk

CITY OF COVINA
2015 CMP Local Development Report
Reporting Period: JUNE 1, 2014 - MAY 31, 2015

Date Prepared: August 3, 2015

Contact: Vivian Castro
 Phone Number: 626-384-5480

**CONGESTION MANAGEMENT PROGRAM
 FOR LOS ANGELES COUNTY**

2015 DEFICIENCY PLAN SUMMARY

*** IMPORTANT: All "#value!" cells on this page are automatically calculated.
 Please do not enter data in these cells.**

DEVELOPMENT TOTALS

RESIDENTIAL DEVELOPMENT ACTIVITY

Dwelling Units

Single Family Residential	0.00
Multi-Family Residential	0.00
Group Quarters	0.00

COMMERCIAL DEVELOPMENT ACTIVITY

1,000 Net Sq.Ft.²

Commercial (less than 300,000 sq.ft.)	2.76
Commercial (300,000 sq.ft. or more)	0.00
Freestanding Eating & Drinking	0.00

NON-RETAIL DEVELOPMENT ACTIVITY

1,000 Net Sq.Ft.²

Lodging	0.00
Industrial	0.00
Office (less than 50,000 sq.ft.)	0.00
Office (50,000-299,999 sq.ft.)	0.00
Office (300,000 sq.ft. or more)	0.00
Medical	14.50
Government	2.50
Institutional/Educational	0.00
University (# of students)	0.00

OTHER DEVELOPMENT ACTIVITY

Daily Trips

ENTER IF APPLICABLE	0.00
ENTER IF APPLICABLE	0.00

EXEMPTED DEVELOPMENT TOTALS

Exempted Dwelling Units	0
Exempted Non-residential sq. ft. (in 1,000s)	0

Page 1

2. Net square feet is the difference between new development and adjustments entered on pages 2 and 3.

CITY OF COVINA

Date Prepared: August 3, 2015

2014 CMP Local Development Report

Reporting Period: JUNE 1, 2013 - MAY 31, 2014

Enter data for all cells labeled "Enter." If there are no data for that category, enter "0."

PART 1: NEW DEVELOPMENT ACTIVITY**RESIDENTIAL DEVELOPMENT ACTIVITY**

Category	Dwelling Units
Single Family Residential	4.00
Multi-Family Residential	0.00
Group Quarters	0.00

COMMERCIAL DEVELOPMENT ACTIVITY

Category	1,000 Gross Square Feet
Commercial (less than 300,000 sq.ft.)	2.76
Commercial (300,000 sq.ft. or more)	0.00
Freestanding Eating & Drinking	0.00

NON-RETAIL DEVELOPMENT ACTIVITY

Category	1,000 Gross Square Feet
Lodging	0.00
Industrial	0.00
Office (less than 50,000 sq.ft.)	0.00
Office (50,000-299,999 sq.ft.)	0.00
Office (300,000 sq.ft. or more)	0.00
Medical	14.50
Government	2.50
Institutional/Educational	0.00
University (# of students)	0.00

OTHER DEVELOPMENT ACTIVITY

Description (Attach additional sheets if necessary)	Daily Trips (Enter "0" if none)
ENTER IF APPLICABLE	0.00
ENTER IF APPLICABLE	0.00

Page 2

CITY OF COVINA

Date Prepared: August 3, 2015

2015 CMP Local Development Report

Reporting Period: JUNE 1, 2014 - MAY 31, 2015

Enter data for all cells labeled "Enter." If there are no data for that category, enter "0."

PART 2: NEW DEVELOPMENT ADJUSTMENTS

IMPORTANT: Adjustments may be claimed only for 1) development permits that were both issued and revoked, expired or withdrawn during the reporting period, and 2) demolition of any structure with the reporting period.

RESIDENTIAL DEVELOPMENT ADJUSTMENTS

Category	Dwelling Units
Single Family Residential	4.00
Multi-Family Residential	0.00
Group Quarters	0.00

COMMERCIAL DEVELOPMENT ACTIVITY

Category	1,000 Gross Square Feet
Commercial (less than 300,000 sq.ft.)	0.00
Commercial (300,000 sq.ft. or more)	0.00
Freestanding Eating & Drinking	0.00

NON-RETAIL DEVELOPMENT ACTIVITY

Category	1,000 Gross Square Feet
Lodging	0.00
Industrial	0.00
Office (less than 50,000 sq.ft.)	0.00
Office (50,000-299,999 sq.ft.)	0.00
Office (300,000 sq.ft. or more)	0.00
Medical	0.00
Government	0.00
Institutional/Educational	0.00
University (# of students)	0.00

OTHER DEVELOPMENT ACTIVITY

Description (Attach additional sheets if necessary)	Daily Trips (Enter "0" if none)
ENTER IF APPLICABLE	0.00
ENTER IF APPLICABLE	0.00

Page 3

CITY OF COVINA

Date Prepared: August 3, 2015

2015 CMP Local Development Report

Reporting Period: JUNE 1, 2014 - MAY 31, 2015

Enter data for all cells labeled "Enter." If there are no data for that category, enter "0."

**PART 3: EXEMPTED DEVELOPMENT ACTIVITY
(NOT INCLUDED IN NEW DEVELOPMENT ACTIVITY TOTALS)**

Low/Very Low Income Housing	<input type="text" value="0"/>	Dwelling Units
High Density Residential Near Rail Stations	<input type="text" value="0"/>	Dwelling Units
Mixed Use Developments Near Rail Stations	<input type="text" value="0"/>	1,000 Gross Square Feet
	<input type="text" value="0"/>	Dwelling Units
Development Agreements Entered into Prior to July 10, 1989	<input type="text" value="0"/>	1,000 Gross Square Feet
	<input type="text" value="0"/>	Dwelling Units
Reconstruction of Buildings Damaged due to "calamity"	<input type="text" value="0"/>	1,000 Gross Square Feet
	<input type="text" value="0"/>	Dwelling Units
Reconstruction of Buildings Damaged in Jan. 1994 Earthquake	<input type="text" value="0"/>	1,000 Gross Square Feet
	<input type="text" value="0"/>	Dwelling Units
Total Dwelling Units	<input type="text" value="0"/>	
Total Non-residential sq. ft. (in 1,000s)	<input type="text" value="0"/>	

Page 4

Exempted Development Definitions:

- Low/Very Low Income Housing: As defined by the California Department of Housing and Community Development as follows:
 - Low-Income: equal to or less than 80% of the County median income, with adjustments for family size.
 - Very Low-Income: equal to or less than 50% of the County median income, with adjustments for family size.
- High Density Residential Near Rail Stations: Development located within 1/4 mile of a fixed rail passenger station and that is equal to or greater than 120 percent of the maximum residential density allowed under the local general plan and zoning ordinance. A project providing a minimum of 75 dwelling units per acre is automatically considered high density.
- Mixed Uses Near Rail Stations: Mixed-use development located within 1/4 mile of a fixed rail passenger station, if more than half of the land area, or floor area, of the mixed use development is used for high density residential housing.
- Development Agreements: Projects that entered into a development agreement (as specified under Section 65864 of the California Government Code) with a local jurisdiction prior to July 10, 1989.
- Reconstruction or replacement of any residential or non-residential structure which is damaged or destroyed, to the extent of > or = to 50% of its reasonable value, by fire, flood, earthquake or other similar calamity.
- Any project of a federal, state or county agency that is exempt from local jurisdiction zoning regulations and where the local jurisdiction is precluded from exercising any approval/disapproval authority. These locally precluded projects do not have to be reported in the LDR.

and that it has no adverse effect on surrounding properties or uses. Furthermore, the Planning Commission determined that the conversion to for-sale condominium units would increase the opportunities for first-time homebuyers to achieve home ownership.

The Planning Commission agreed with staff's recommendation in requiring the Applicant to submit reports to comply with the State Subdivision Map Act, the City's Subdivision Ordinance under Municipal Code Section 16.12, and the Building Regulations, Fire Prevention, and Health and Safety, etc., under Municipal Code Section 16-12-030B. Specifically, the reports are to address the physical conditions of the buildings and each unit, the overall site improvements and the additional notices to tenants about the conversion. The required reports and notices are summarized as follows:

1. Reports (Municipal Code Section 16-12-020)

- Physical Elements Report to be prepared by a registered engineer or architect or licensed qualified contractor describing the physical elements of all structures and facilities, sound transmission levels between units, mechanical equipment, parking facilities and appliances.
- A Pest Control Report for each building and each unit
- A Soils and Geological Report
- A Statement of Repairs and Improvements to be made
- Covenants, Conditions and Restricts (CC&Rs)
- Specific information on the demographic characteristic of the project such as makeup of existing tenants' households, proposed sale price of each unit, proposed homeowners' association fee, financing available, etc.
- Signed copies from each tenant of a Notice of Intent to Convert. (The Applicant has completed this item.)
- Submittal of a budget
- Copy of the above-mentioned reports to prospective buyers

2. Additional Noticing to City and Current Tenants or Prospective Tenants (Municipal Code Section 16.12.040 and Government Code Section 66427.1, 66452.17 through 66452.20)

- Written Notice of Final Map Approval to the tenants not less than 10 days from the date of approval of the Final Map by the City Council
- Provide an affidavit to the City stating that each tenant has received written notification not less than 10 days from approval of a Final Map by the City Council.
- 10 days prior to filing an application with the State Department of Real Estate Board, the Applicant shall provide notice of such filing and include in the notice that the report shall be available upon request to the tenants and the City.
- Not less than 90 days before the date of issuance of the subdivision public report, offer the tenants the right to purchase the unit.
- Provide an affidavit stating that each tenant has received a written notification of intention to convert not less than 180 days prior to termination of tenancy due to conversion.
- The Applicant shall provide alternate housing to tenant household, at no additional cost to the tenant, whose unit undergoes substantial remodeling or rehabilitation during the conversion, if the unit being remodeled or rehabilitated is not habitable.

- The Applicant shall submit a counseling assistance plan to provide relocation counseling and assistance in non-purchasing tenants, to aid such tenants in finding and relocating to equivalent housing.
- The Applicant shall provide a warranty against common area defects and the form of such warranty must be submitted to the City for review and approval.

With the above-identified reports, statements and notices included as conditions of approval, the Planning Commission recommended approval of the proposed condominium conversion to the City Council by a unanimous vote.

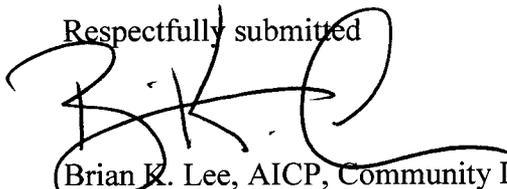
ENVIRONMENTAL DETERMINATION

The City has analyzed that the proposed project of converting the existing 23 residential units to condominiums does not meet the definition of a “project” as defined in California Environmental Quality Act (CEQA) Guidelines Section 15378. Further, it has been determined that the proposed project would be categorically exempt in accordance with Section 15301(k), Class 1 of the CEQA Guidelines. Furthermore, a Mitigated Negative Declaration and the Mitigation Monitoring Program was adopted by the City Council on October 19, 2004 in the original approval of the 23 residential units, which were designed to meet the condominium standards.

EXHIBITS

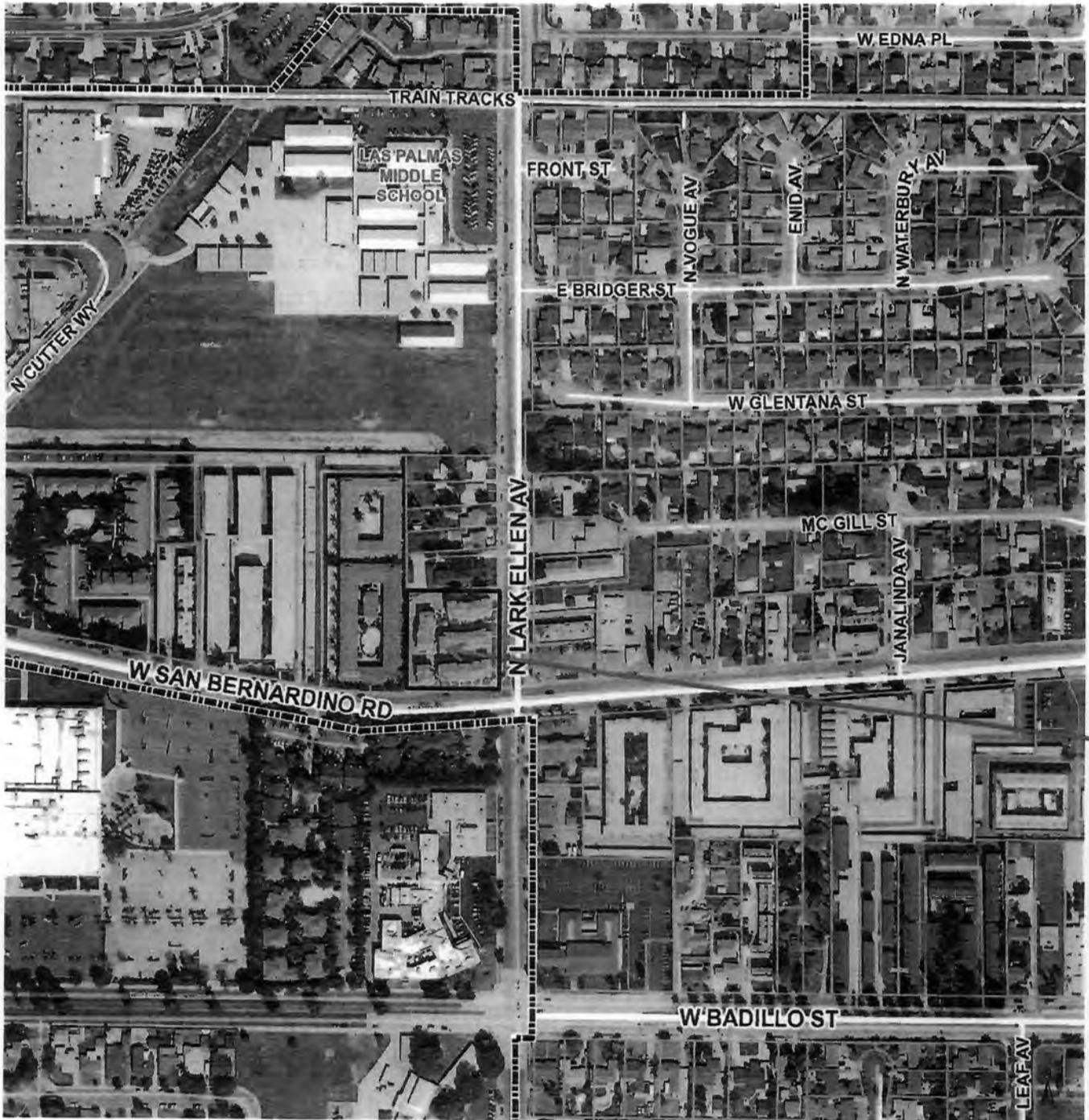
1. Area Map
2. 300-foot Radius Map and Notification and Tenant List
3. Project Plans (reductions)
4. Notices of Intent to Convert to Condominiums to occupants/tenants
5. Information Notice to Tenants on Future Noticing Requirement
6. July 14, 2015 Planning Commission staff report and Resolution 2015-013PC recommending approval with Conditions of Approval
7. City Council Resolution No. 15-7387 with Conditions of Approval

Respectfully submitted



Brian K. Lee, AICP, Community Development Director
Community Development Department

City of Covina
Notice of Public Hearing
501 N. Lark Ellen Avenue
TTM 73397 & CUP 15-010



800.00 Feet



EXHIBIT 1



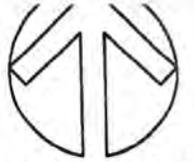
More Services

SUE MORENO
(626) 350-5944
moreservices@sbcglobal.net

OWNERSHIP / OCCUPANTS LIST
RADIUS MAPS - LAND USE - PLANS
MUNICIPAL COMPLIANCE CONSULTING
12106 LAMBERT AVE. EL MONTE, CA 91732 - FAX (626) 350-1532

PROJECT INFORMATION

501 N. LARK ELLEN AVE.
COVINA, CA.
15-023



SCALE 1" = 150'

15.17 ± AC.
0.20 ± AC. S. Dr. EASE.
14.97 ± AC.

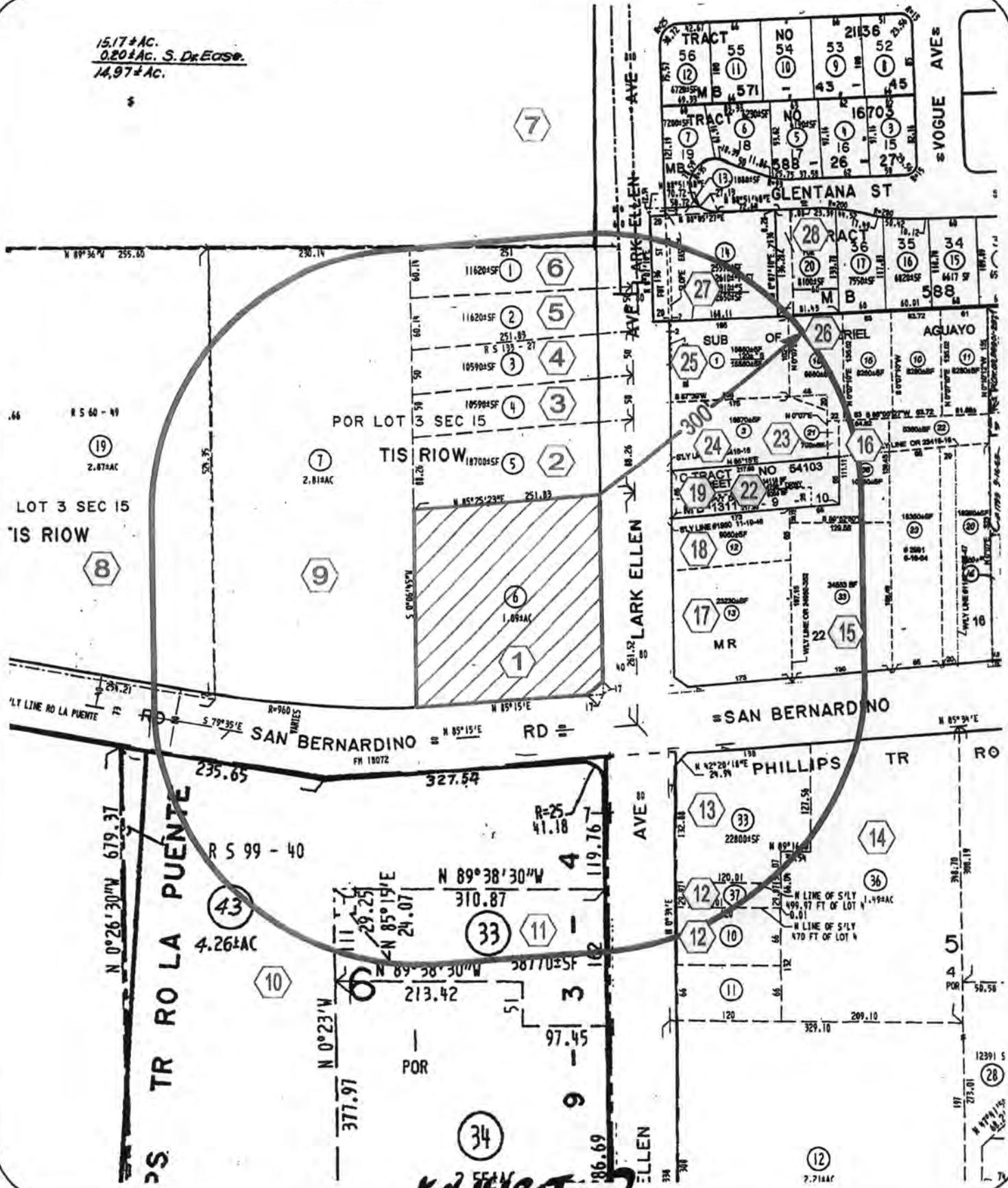


EXHIBIT 2

Maggie Guerrero
501 N Lark Ellen Ave Unit H
Covina CA 91722-3569

Rafael Collazo & Ana
Mirriam Collazo- Reyes
511 N Lark Ellen Ave Unit F
Covina CA 91722-3574

Sergio Fernando Morales &
Roseann Gallardo
501 N Lark Ellen Ave Unit B
Covina CA 91722-3569

Timothy Davis & Louida Davis
501 N Lark Ellen Ave Unit G
Covina CA 91722-3569

Kevin Mack & Mireya Licea
511 N Lark Ellen Ave Unit E
Covina CA 91722-3574

Jason & Faith Banog
501 N Lark Ellen Ave Unit A
Covina CA 91722-3569

Emelda Lacuesta Sadler &
Michael Dean Sadler
511 N Lark Ellen Ave Unit J
Covina CA 91722-3574

Victor & Carolina Prieto
511 N Lark Ellen Ave Unit D
Covina CA 91722-3571

George, Raquel &
Vincent Maldonado
511 N Lark Ellen Ave Unit I
Covina CA 91722-3574

Rodger Lueras,
511 N Lark Ellen Ave Unit C,
Covina CA 91722-3571

Raymond & Christine Santos,
511 N Lark Ellen Ave Unit H
Covina CA 91722-3574

Christina Lizeta,
511 N Lark Ellen Ave Unit B
Covina CA 91722-3571

Trinidad & Ada Castaneda
511 N Lark Ellen Ave Unit G
Covina CA 91722-3574

Jonathan Pena & Marijane Herrera
511 N Lark Ellen Ave Unit A
Covina CA 91722-3571

Olivia Banuelos
521 N Lark Ellen Ave Unit E
Covina CA 91722-3573

Tonia Lynn Hughes & Kirsten
& Bracey Lemons
501 N Lark Ellen Ave Unit F
Covina CA 91722-3569

Merri Davis Fulcher
521 N Lark Ellen Ave Unit D
Covina CA 91722-3573

Daniel Jubinal
501 N Lark Ellen Ave Unit E
Covina CA 91722-3569

Christopher Uzeta
521 N Lark Ellen Ave Unit B
Covina CA 91722-3573

Toni Apodaca, Francisco Vasquez
& Crystal Gutierrez
501 N Lark Ellen Ave Unit D
Covina CA 91722-3569

Dinora Reyes,
521 N Lark Ellen Ave Unit A
Covina CA 91722-3573

Martha Gamez & Francia Renteria
501 N Lark Ellen Ave Unit C
Covina CA 91722-3569

TENANTS LIST
111

1 8434-011-006
GROVELANDS 2002 LLC
133 E BONITA AVE #201
SAN DIMAS CA 91773

2 8434-011-005
ORONoz JOE CO TR ORONoZ FAM TR
15531 CRISTALINO ST
HACIENDA HEIGHTS CA 91745

3 8434-011-004
ORELLANA MARCO T
545 N LARK ELLEN AVE
COVINA CA 91722

4 8434-011-003
RAMOS FELIPE J
551 N LARK ELLEN AVE
COVINA CA 91722

5 8434-011-002
PEPATPHONGSE SOPIN HENGSAKUL
1504 E CAMERON AVE
WEST COVINA CA 91791

6 8434-011-001
HENGSAKUL PETER A
1504 E CAMERON AVE
WEST COVINA CA 91791

7 8434-010-901
COVINA VALLEY UNIFIED SCH DIST
641 N LARK ELLEN AVE
COVINA CA 91722

8 8434-012-019
COVINA MOUNTAIN VIEW VENTURE
PO BOX 260515
ENCINO CA 91426

9 8434-011-007
BGN PROPERTIES COVINA PALMS LP
3720 S SUSAN ST #100
SANTA ANA CA 92704

10 8434-015-043
LARK ELLEN LIMITED PARTNERSHIP
11812 SAN VICENTE BLVD #600
LOS ANGELES CA 90049

11 8434-015-033
F AND C CORPORATION
PO BOX 660058
ARCADIA CA 91066

12 8434-016-010,037
TORRE THERESA
16831 E FRANCISQUITO AVE
WEST COVINA CA 91790

13 8434-016-033
LAHAINA ACQUISITIONS LLC
1338 INDIAN SPRINGS DR
GLEN DORA CA 91741

14 8434-016-036
LARK INVESTORS LLC DOAN SHEILA M
500 31ST ST
NEWPORT BEACH CA 92663

15 8434-004-033
HUANG MARTIN
PO BOX 1786
ARCADIA CA 91077

16 8434-004-036
ZHANG AMY CHOU TAOHUNG
1256 W MC GILL ST
COVINA CA 91722

17 8434-004-013
7 ELEVEN INC
PO BOX 711
DALLAS TX 75221

18 8434-004-012
DJUHANA DEVI S DJUHANA FAM TR
524 N LARK ELLEN AVE
COVINA CA 91722

19 8434-004-028
NG MANDY
534 N LARK ELLEN AVE #1
COVINA CA 91722

20 8434-004-029
NG YUEN FONG
711 W VALLEY BLVD #301
ALHAMBRA CA 91803

21 8434-004-030
CHEN JIAN
11221 E RUSH ST #D
SOUTH EL MONTE CA 91733

22 8434-004-031
GOLDEN MEDALLION INVEST LLC
PO BOX 388
WALNUT CA 91788

23 8434-004-021
SMITH BELLE
1247 W SAN BERNARDINO RD
COVINA CA 91722

24 8434-004-003
OWAINAT MAJED A EWEINAT MAIS
13544 VENTURA BLVD
SHERMAN OAKS CA 91423

25 8434-004-001
DORST GREGORY J
558 N LARK ELLEN AVE
COVINA CA 91722

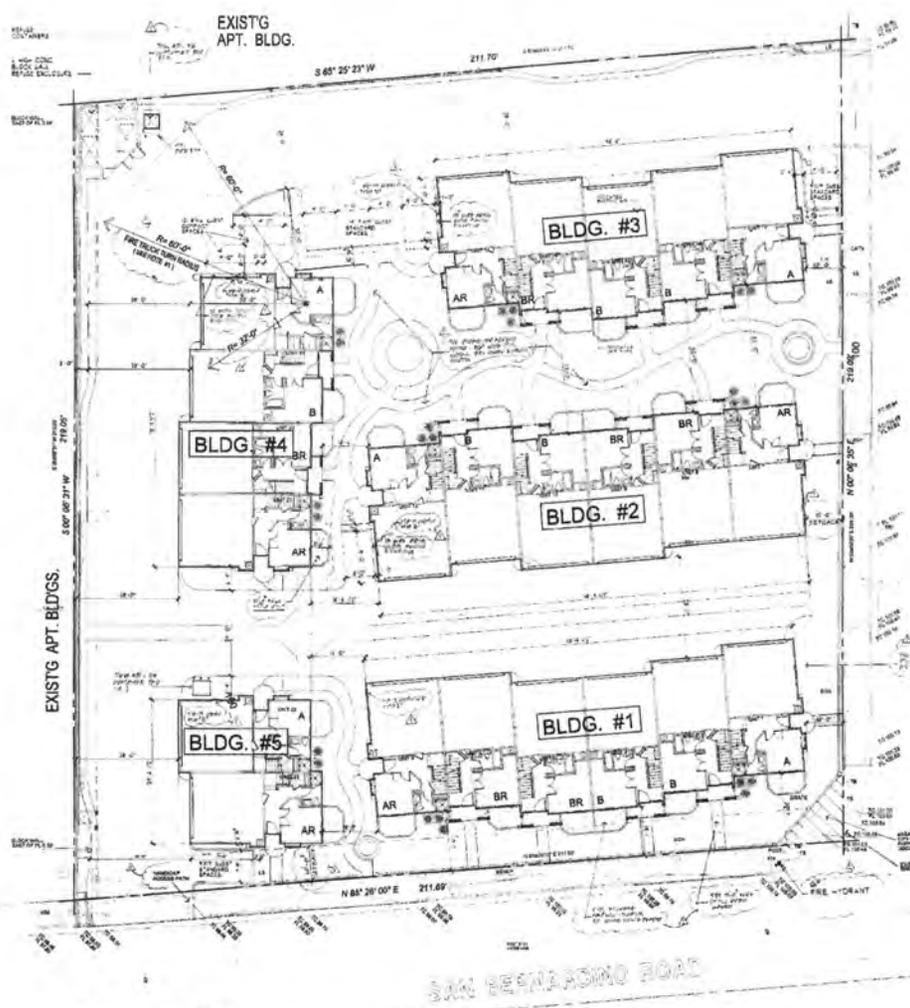
26 8434-004-016
ROJAS GONZALO E & JUANA
1269 W MC GILL ST
COVINA CA 91722

27 8434-005-014
TORRES JOHN A & JULIANNE
576 N LARK ELLEN AVE
COVINA CA 91722

28 8434-006-020
CRISWELL MARIAN J TRUST
1268 W GLENTANA ST
COVINA CA 91722

CAL LAND ENGINEERING INC
ATTN XIPING YANG
576 E LAMBERT RD
BREA CA 92821

300 FT. RADIUS LIST
112



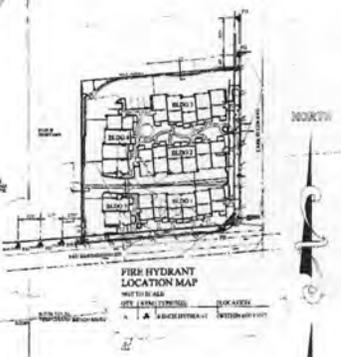
SITE PLAN

FIRE DEPARTMENT NOTES:

1. REVIEW ALL APPLICANT SUBMITTED DRAWINGS FOR ALL APPLICANT'S TO BE REVIEWED BY THE FIRE DEPARTMENT.
2. WITH THE REVIEW OF DRAWINGS THE DEPARTMENT IS REVIEWING ALL PLANS IN ORDER TO DETERMINE THE LOCATION OF ALL APPLICANT'S TO BE REVIEWED BY THE FIRE DEPARTMENT.
3. CORRECT ALL PLAN TO BE REVIEWED BY THE DEPARTMENT.
4. CORRECT ALL PLAN TO BE REVIEWED BY THE DEPARTMENT.

NOTES:

ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

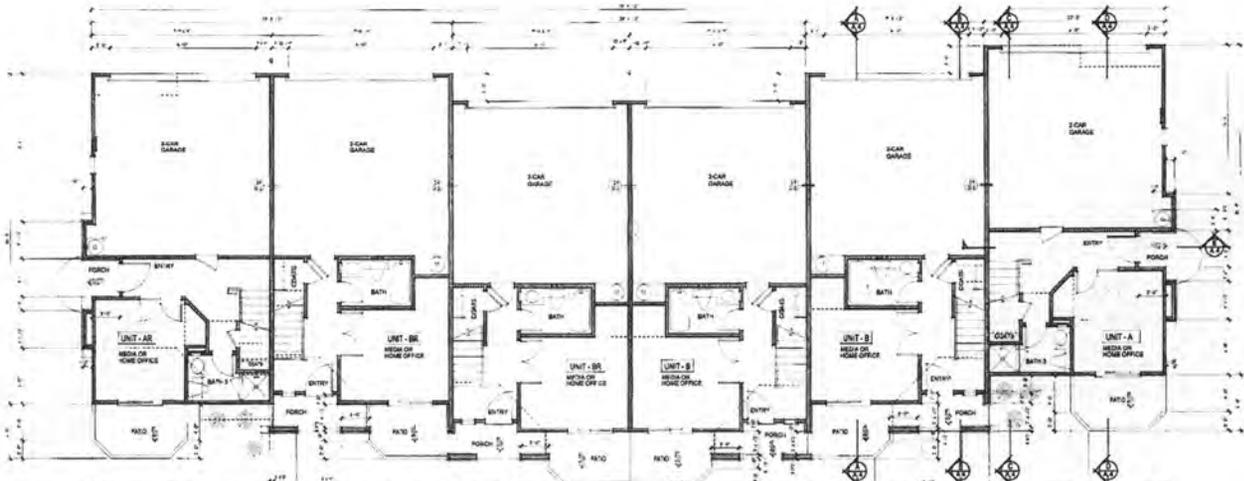


ADKVAS

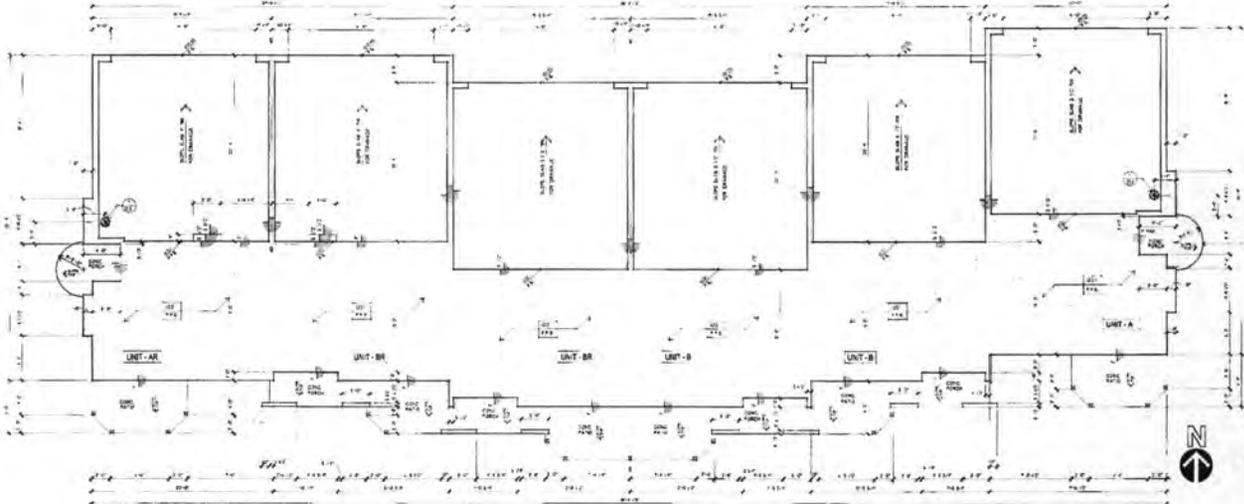
LARK ELLEN VILLAS
A 25 UNIT APARTMENT COMPLEX, COVINA, CALIF.
FOR LARK ELLEN VILLAS LLC 2011

SITE PLAN

SP



FIRST FLOOR PLAN



SLAB EDGE PLAN

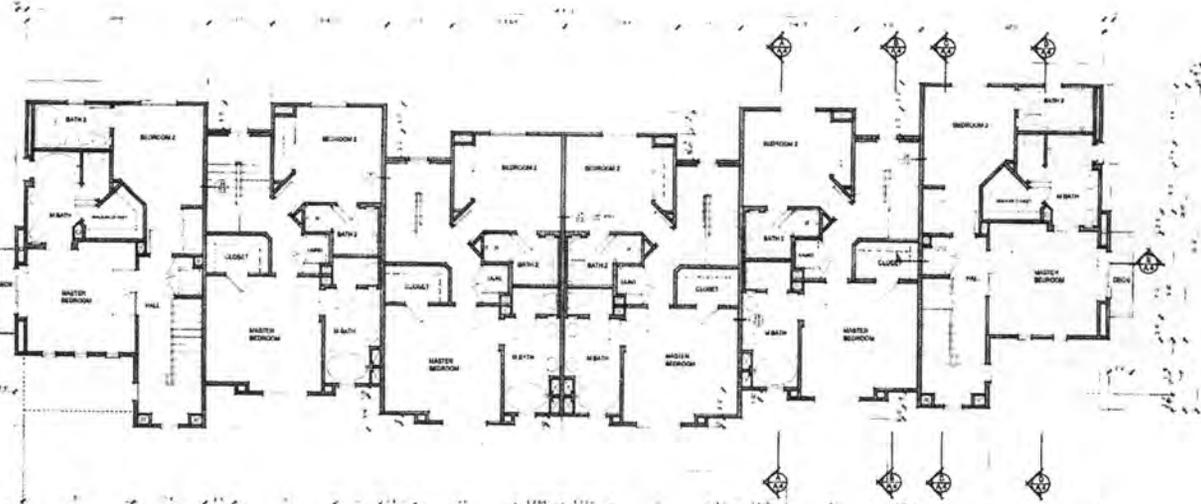


ADKVAS
 ARCHITECTURAL DESIGN & CONSTRUCTION
 1000 S. GATEWAY AVENUE, SUITE 100
 COVINA, CALIF. 91724
 TEL: (626) 963-1111
 FAX: (626) 963-1112
 WWW.ADKVAS.COM

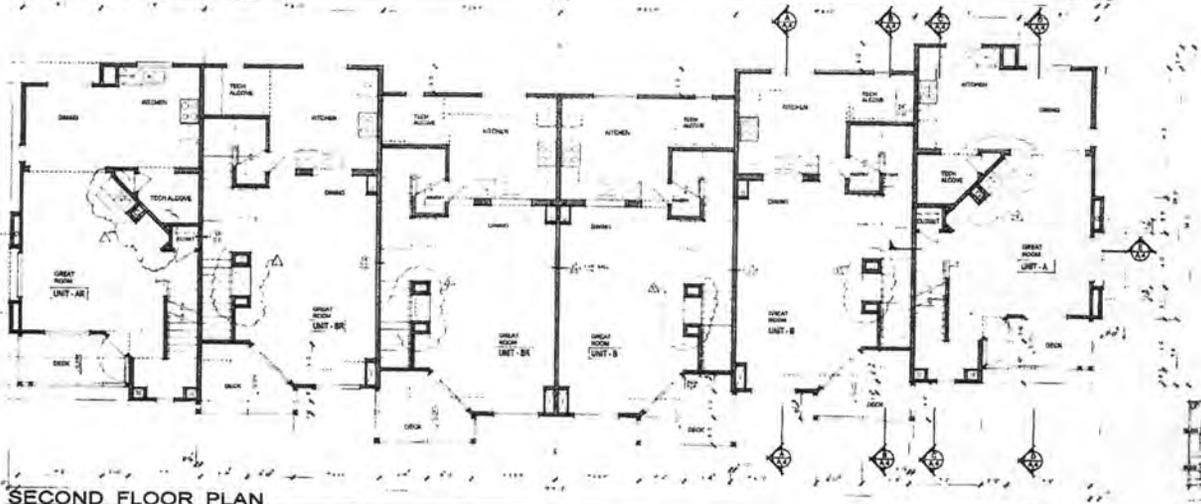
LARK ELLEN VILLAS
 A 23 UNIT APARTMENT COMPLEX, COVINA, CALIF.
 FOR LANDLORD: VILLAS LLC 2003

BUILDING #1
 SLAB EDGE PLAN
 FIRST FLOOR PLAN

A1.1



THIRD FLOOR PLAN

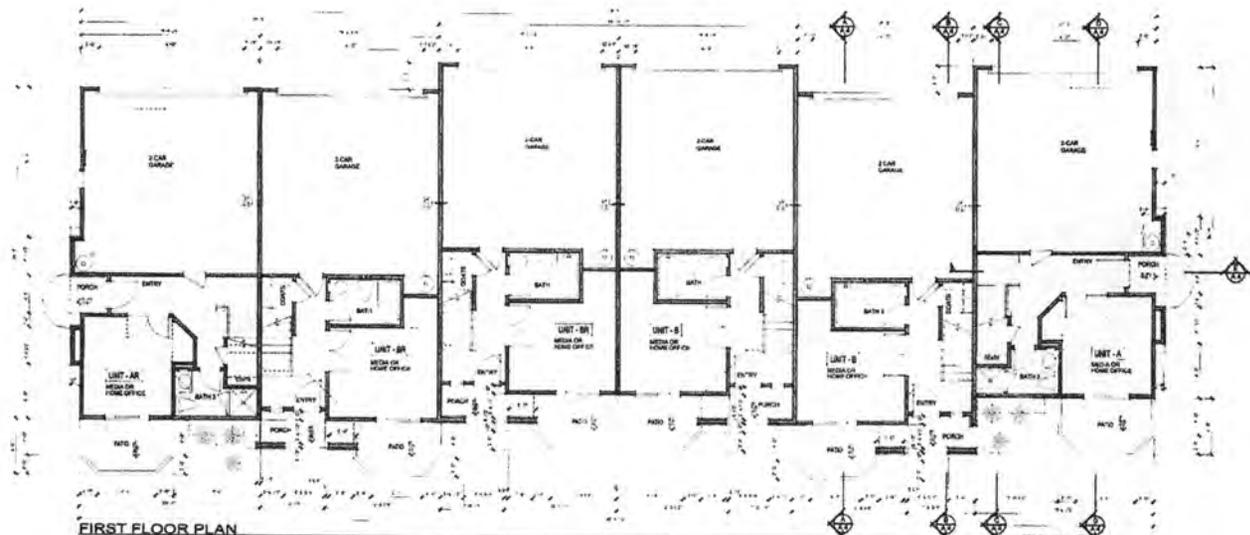


SECOND FLOOR PLAN

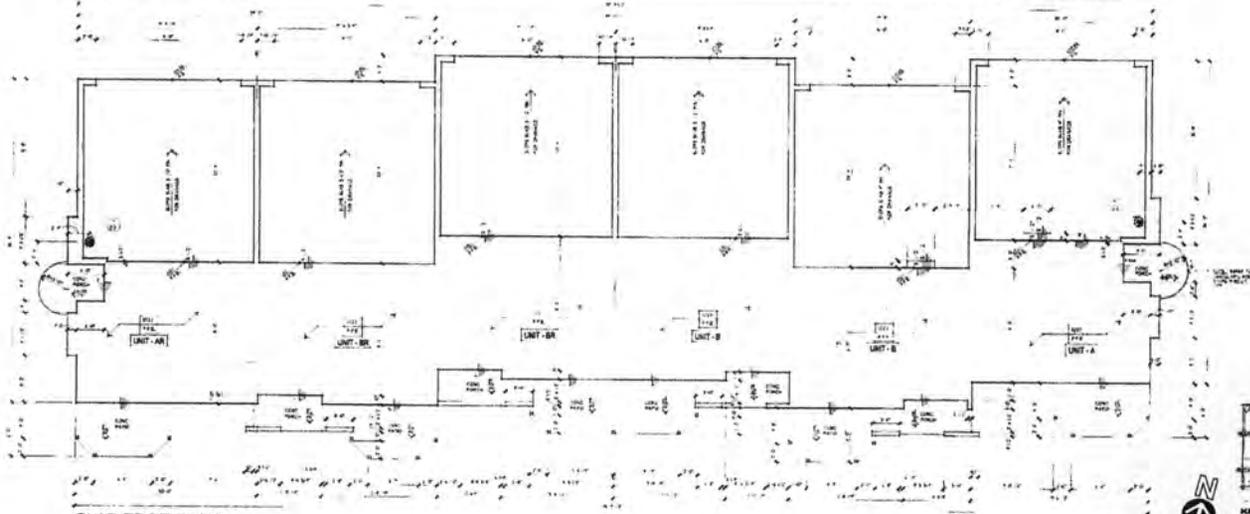
ADKVAS
 ARCHITECTURAL DESIGN & CONSTRUCTION
 11111 W. 11TH AVENUE, SUITE 100, DENVER, CO 80233
 (303) 751-1111
 WWW.ADKVAS.COM

LARK ELLEN VILLAS
 A 23 UNIT APARTMENT COMPLEX, CONVENT, COLORADO
 FOR LARK ELLEN VILLAS LLC 2001

BUILDING #1
 SECOND FLOOR PLAN
 3.22.2009
 A1.2



FIRST FLOOR PLAN



SLAB EDGE PLAN



ADKVAS
 ARCHITECTURAL DESIGN & CONSTRUCTION
 1000 S. W. 10TH AVE., SUITE 100
 MIAMI, FL 33135

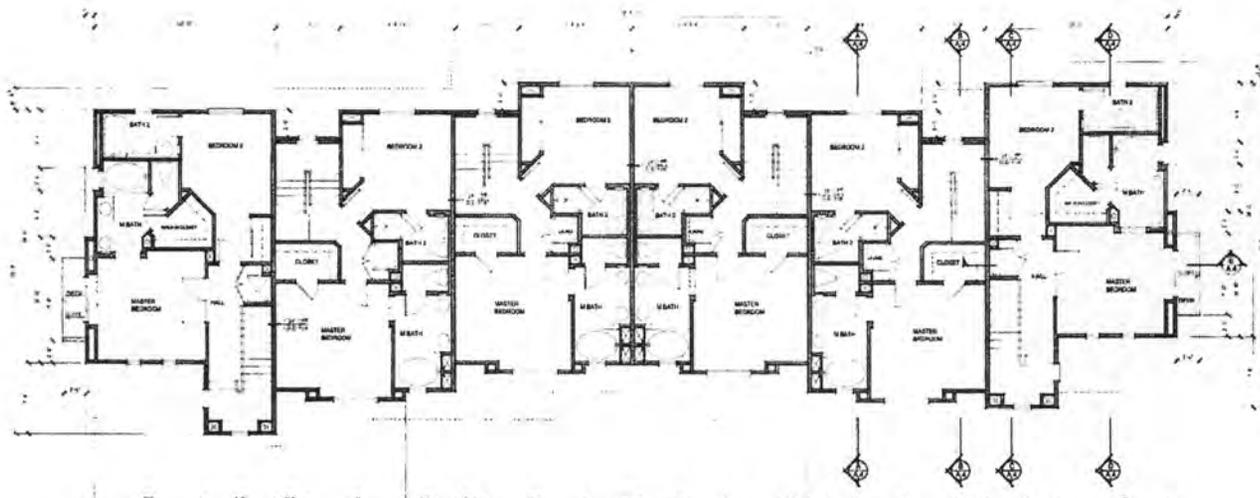


LARK ELLEN VILLAS
 A LARK VILLAS DEVELOPMENT
 1000 S. W. 10TH AVE., SUITE 100
 MIAMI, FL 33135

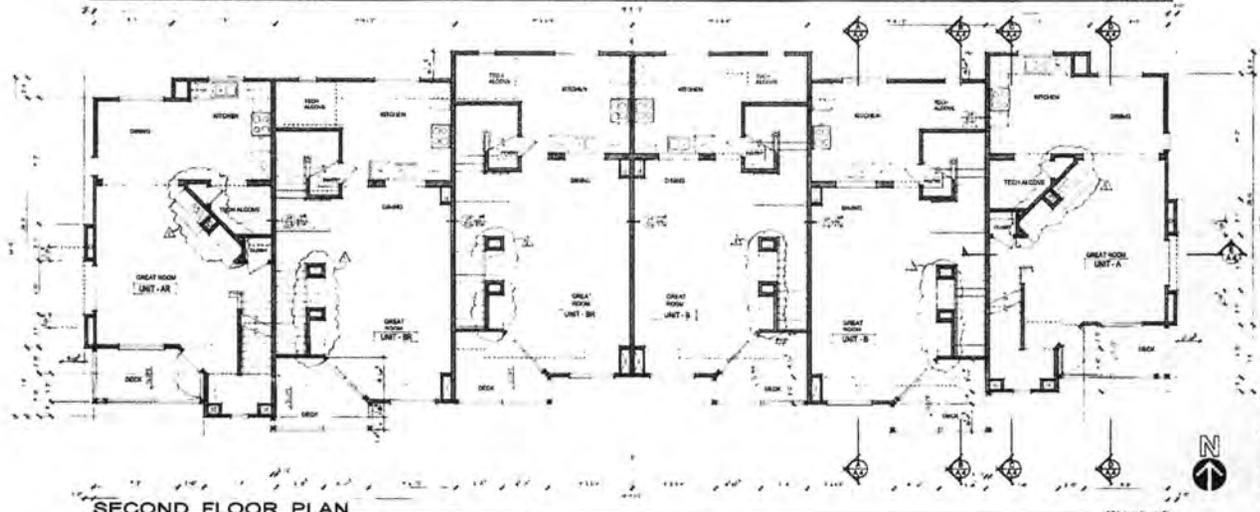
PROJECT NO. 22-008

BUILDING #2
 SLAB EDGE PLAN
 FIRST FLOOR PLAN

A2.1



THIRD FLOOR PLAN



SECOND FLOOR PLAN

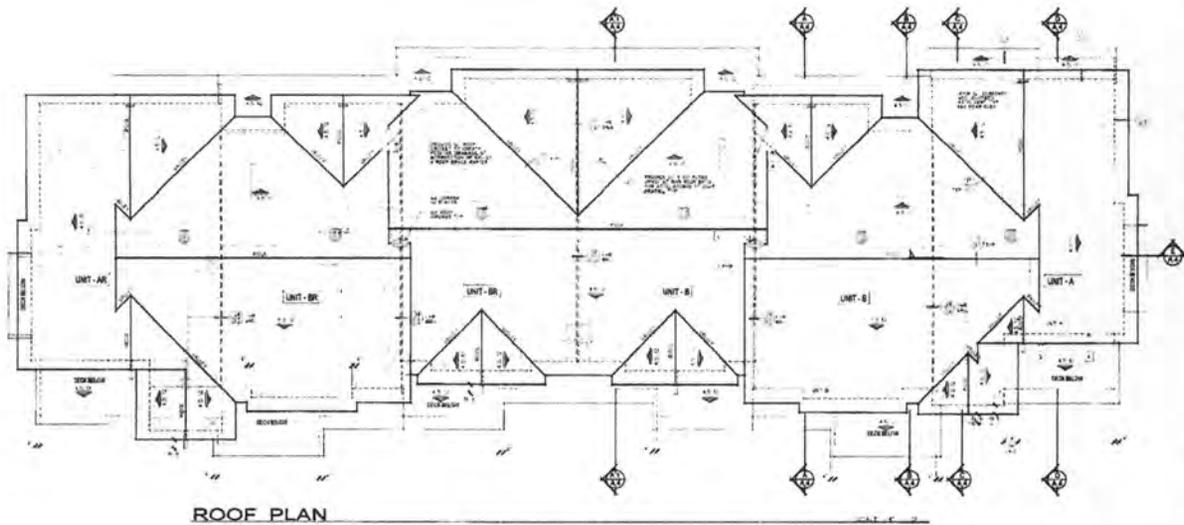


A2.2

BUILDING #2
SECOND FLOOR PLAN
THIRD FLOOR PLAN

LARK ELLEN VILLAS
A 23 UNIT APARTMENT COMPLEX, CONOMA, CALIF.
1000 LARK ELLEN ROAD, SUITE 200

ADIKVAS
ARCHITECTURAL DESIGN & CONSTRUCTION



ROOF PLAN

ROOF NOTES

1. ROOF SLOPE: 12/12
2. ROOF FINISH: 1/2" GYPSUM BOARD OVER 1" OSB SHEATHING
3. ROOF INSULATION: 2" POLYISOCYANURATE
4. ROOF STRUCTURE: 2" x 8" RAFTERS @ 24" O.C.

ATTIC VENTILATION

2" x 4" VENTILATION FAN WITH 1/2" GYPSUM BOARD OVER 1" OSB SHEATHING

ATTIC VENTILATION CALC

AREA	AREA	AREA
1. ROOF AREA	1200.00	1200.00
2. GABLE AREA	120.00	120.00
3. TOTAL AREA	1320.00	1320.00

NOTES

1. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. ALL ROOFING SHALL BE INSTALLED OVER A CONTINUOUS INSULATION LAYER.
3. ALL ROOFING SHALL BE INSTALLED OVER A CONTINUOUS VENTILATION LAYER.
4. ALL ROOFING SHALL BE INSTALLED OVER A CONTINUOUS DRAINAGE LAYER.
5. ALL ROOFING SHALL BE INSTALLED OVER A CONTINUOUS PROTECTION LAYER.

EXTERIOR ELEVATION NOTES

1. EXTERIOR FINISH: STUCCO OVER GYPSUM BOARD
2. WINDOW FINISH: ALUMINUM CLADDING
3. DOOR FINISH: WOOD GRAIN LAMINATE
4. BALCONY FINISH: CONCRETE WITH STAINLESS STEEL RAILINGS
5. ROOF FINISH: 1/2" GYPSUM BOARD OVER 1" OSB SHEATHING



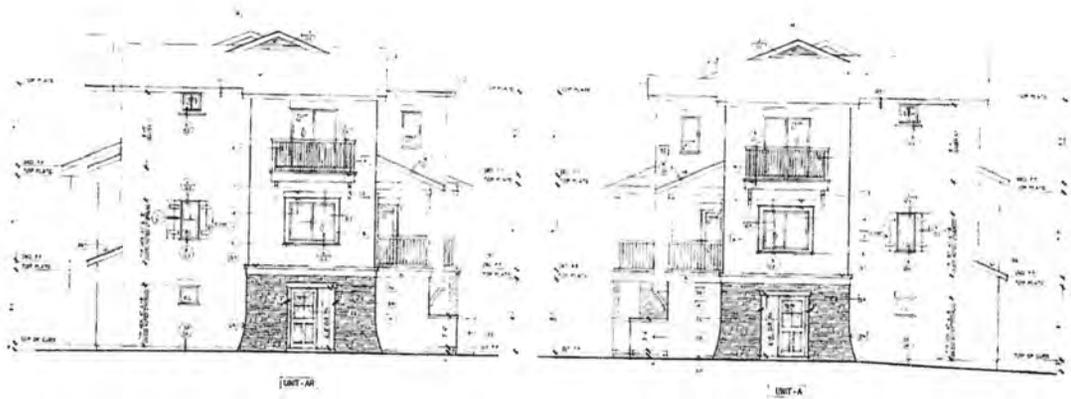
FRONT ELEVATION

ADKVAS
ARCHITECTURAL DESIGN & CONSTRUCTION

LARK ELLEN VILLAS
A. STANLEY ALAMANTOS, ARCHITECT
FOR LARK ELLEN VILLAS, LLC, 2010

BUILDING #2
ROOF PLAN
EXTERIOR ELEVATIONS

A2.3



LEFT ELEVATION

RIGHT ELEVATION

EXTERIOR ELEVATION NOTES

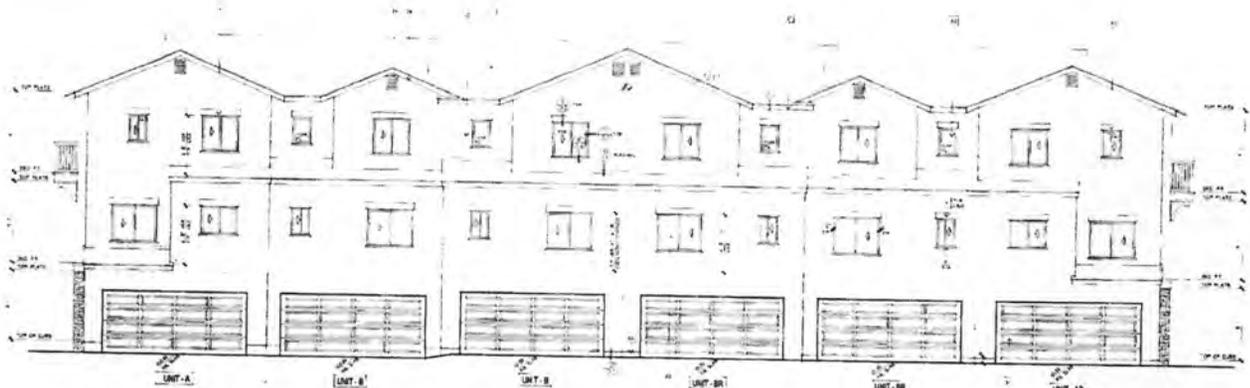
1. SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM WEATHER AND DAMAGE.
3. ALL EXTERIOR SURFACES SHALL BE MAINTAINED IN GOOD REPAIR.
4. ALL EXTERIOR SURFACES SHALL BE CLEANED AND MAINTAINED.
5. ALL EXTERIOR SURFACES SHALL BE PAINTED AS SHOWN.
6. ALL EXTERIOR SURFACES SHALL BE FINISHED AS SHOWN.
7. ALL EXTERIOR SURFACES SHALL BE INSTALLED AS SHOWN.
8. ALL EXTERIOR SURFACES SHALL BE SET AS SHOWN.
9. ALL EXTERIOR SURFACES SHALL BE ADJUSTED AS SHOWN.
10. ALL EXTERIOR SURFACES SHALL BE OPERATED AS SHOWN.
11. ALL EXTERIOR SURFACES SHALL BE REPAIRED AS SHOWN.
12. ALL EXTERIOR SURFACES SHALL BE REPLACED AS SHOWN.
13. ALL EXTERIOR SURFACES SHALL BE REMOVED AS SHOWN.
14. ALL EXTERIOR SURFACES SHALL BE INSTALLED AS SHOWN.
15. ALL EXTERIOR SURFACES SHALL BE SET AS SHOWN.
16. ALL EXTERIOR SURFACES SHALL BE ADJUSTED AS SHOWN.
17. ALL EXTERIOR SURFACES SHALL BE OPERATED AS SHOWN.
18. ALL EXTERIOR SURFACES SHALL BE REPAIRED AS SHOWN.
19. ALL EXTERIOR SURFACES SHALL BE REPLACED AS SHOWN.
20. ALL EXTERIOR SURFACES SHALL BE REMOVED AS SHOWN.

ADKVAS
ARCHITECTURAL DESIGN & CONSTRUCTION

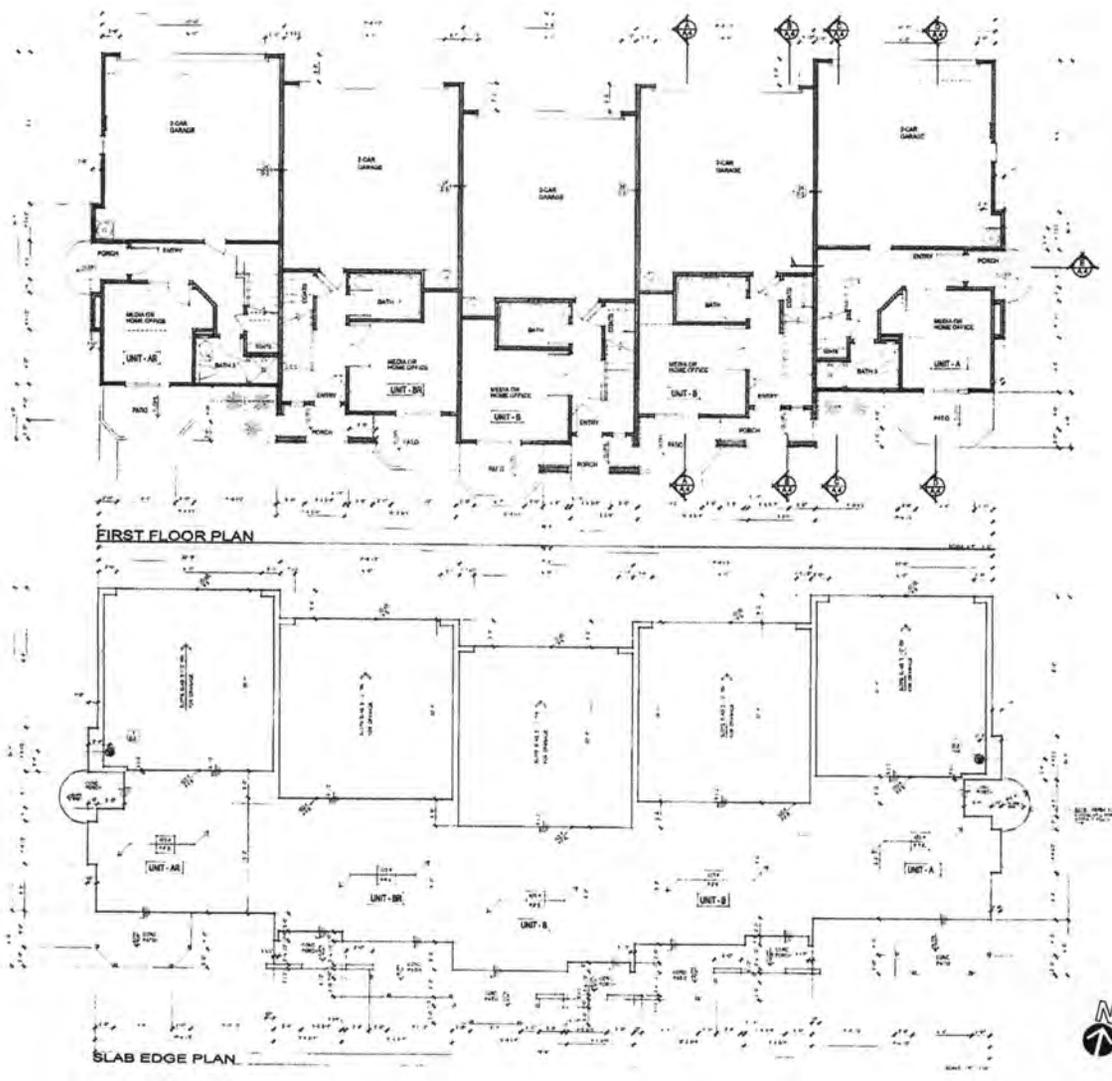
LARK ELLEN VILLAS
A 200 UNIT APARTMENT COMPLEX
FOR LARK CLAY VILLAS LLC 2007

BUILDING #2
EXTERIOR ELEVATIONS

A2.4



REAR ELEVATION

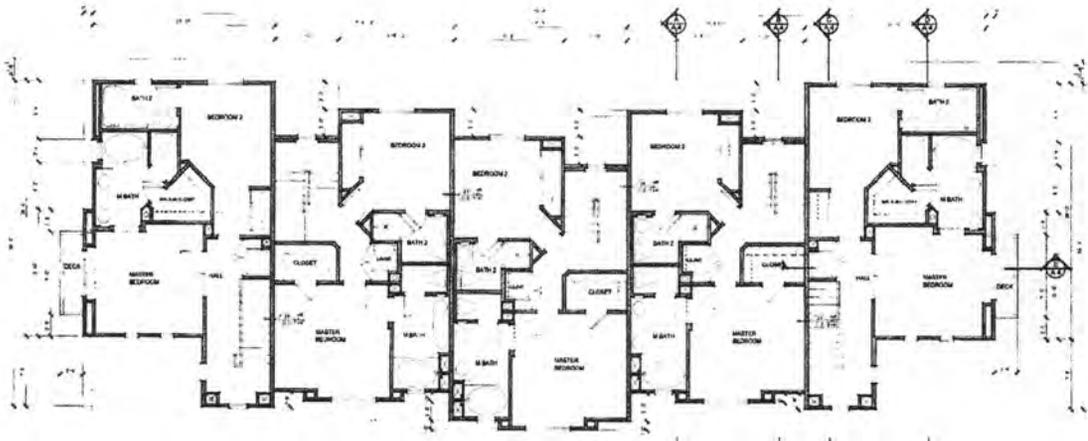


ADKVAS
 ARCHITECTURE & DESIGN
 1000 AVENUE 100, SUITE 100, CALGARY, ALBERTA T2C 1E9, CANADA
 TEL: (403) 243-1111
 WWW.ADKVAS.COM

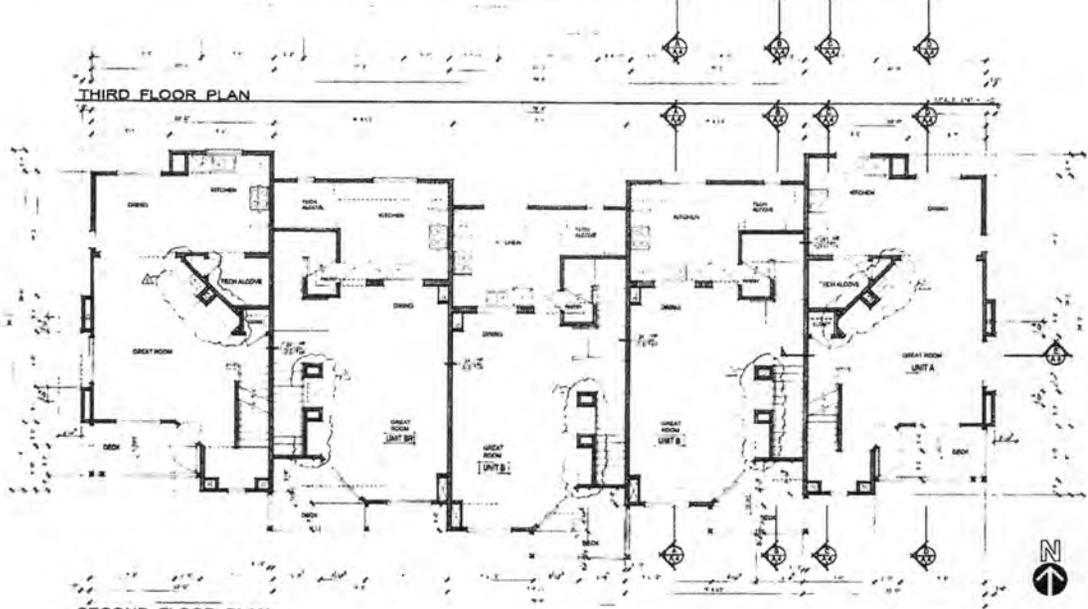
LARK ELLEN VILLAS
 1000 AVENUE 100, SUITE 100, CALGARY, ALBERTA T2C 1E9, CANADA
 TEL: (403) 243-1111
 WWW.LARKELLENVILLAS.COM

BUILDING #3
 SLAB EDGE PLAN
 FIRST FLOOR PLAN

A3.1



THIRD FLOOR PLAN



SECOND FLOOR PLAN



ADKVAS
ARCHITECTURAL DESIGN & CONSTRUCTION



LARK ELLEN VILLAS
COMPLEX, COWANA, CALIF.
FOR LARK ELLEN VILLAS LLC, LLC

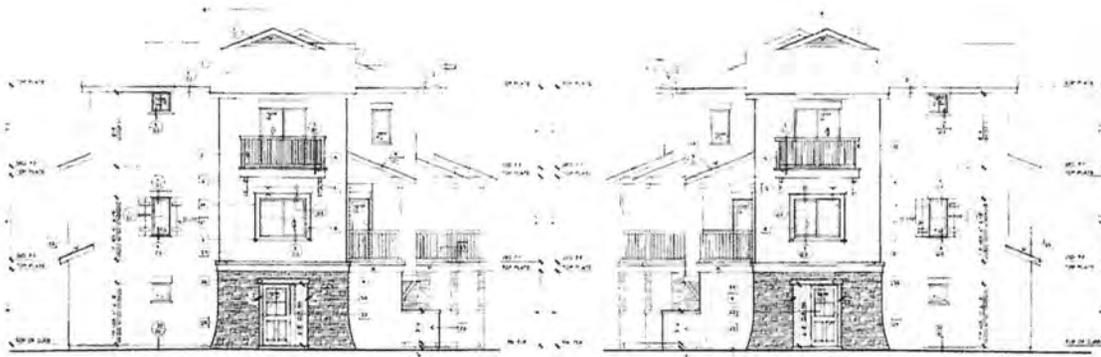
DATE: 3/22/2008

PROJECT: 3-22-2008

SCALE: 1/8" = 1'-0"

BUILDING #2
SECOND FLOOR PLAN
THIRD FLOOR PLAN

A3.2



LEFT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

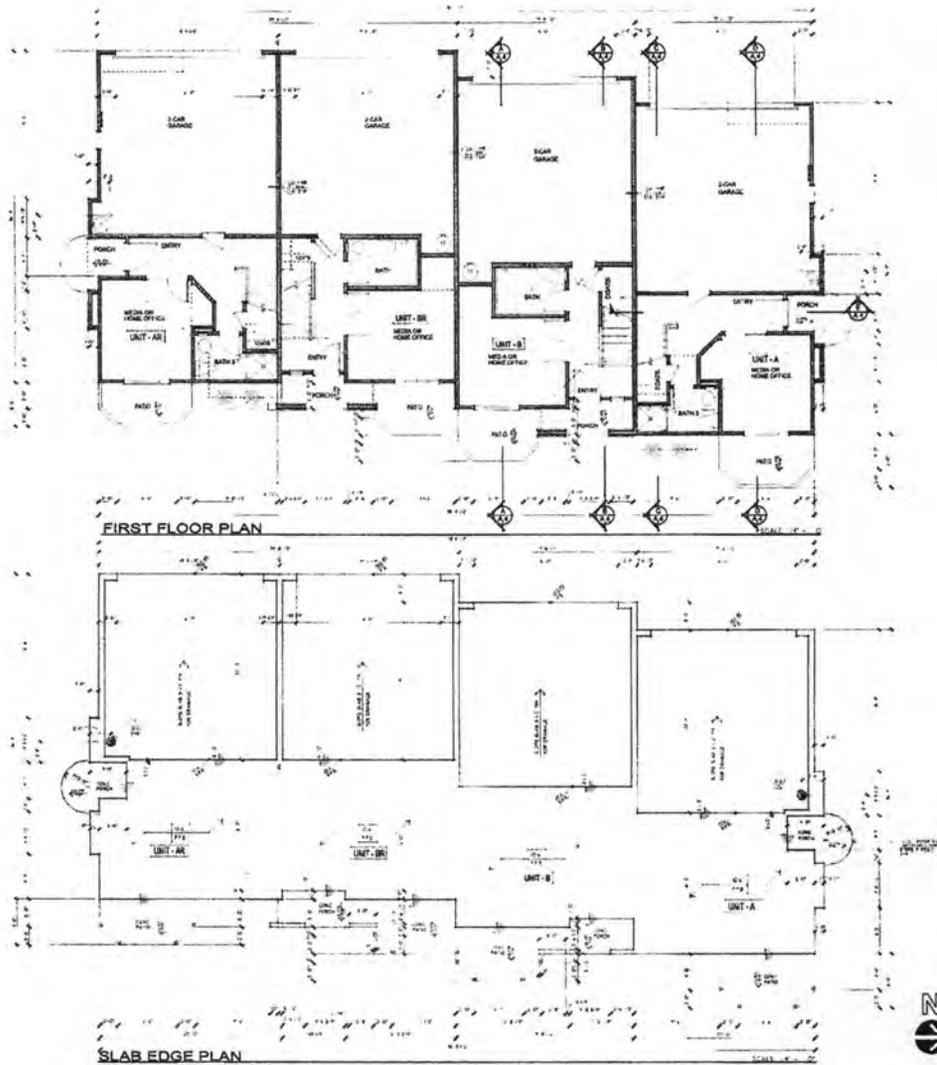
EXTERIOR ELEVATION NOTES

- 1. SEE ARCHITECT'S GENERAL NOTES FOR MATERIALS AND FINISHES.
- 2. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 3. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 4. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 5. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 6. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 7. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 8. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 9. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.
- 10. ALL ELEVATIONS TO BE CONFORMED TO THE ARCHITECT'S GENERAL NOTES.

ADKVAS
 ARCHITECTURAL DESIGN & CONSTRUCTION
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CALIFORNIA 92805
 (714) 771-1111
 WWW.ADKVAS.COM

LARK ELLEN VILLAS
 A 28 UNIT APARTMENT COMPLEX, COVINA, CALIF.
 FOR LARK ELLEN VILLAS, LLC 2003

BUILDING #3
 EXTERIOR ELEVATIONS
A3.4

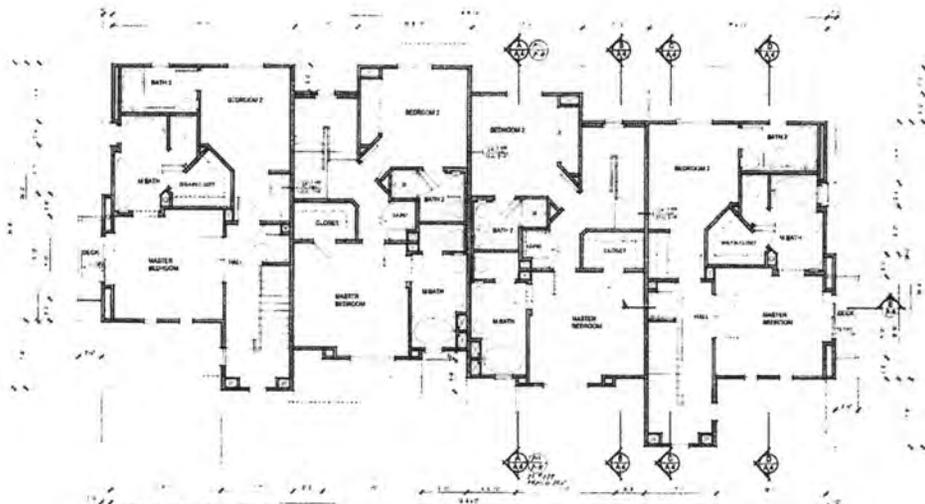


ADK VAS
 ARCHITECTURAL DESIGN & CONSTRUCTION, INC.
 1000 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304

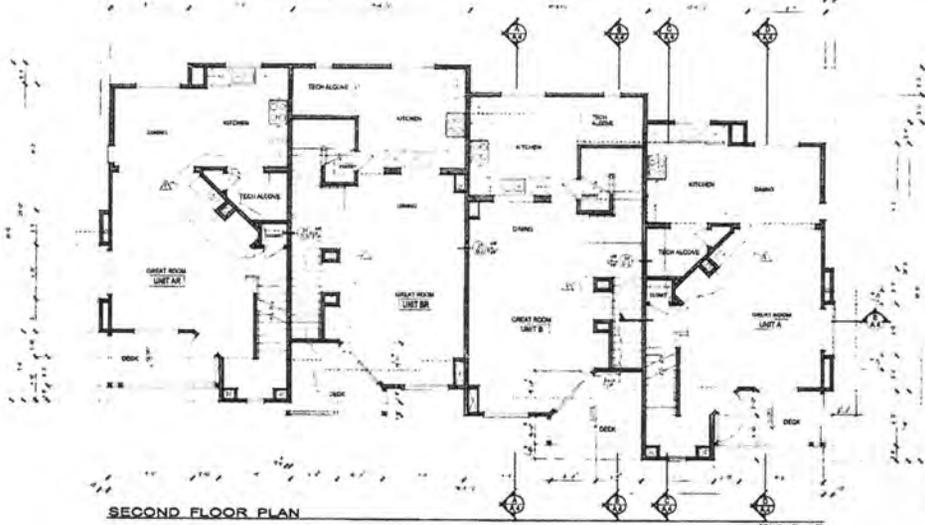
LARK ELLEN VILLAS
 A 23 UNIT APARTMENT COMPLEX, COVINA, CALIF.
 FOR LARK ELLEN VILLAS, LLC 2008

BUILDING #4
 SLAB EDGE PLAN
 FIRST FLOOR PLAN

A4.1



THIRD FLOOR PLAN



SECOND FLOOR PLAN

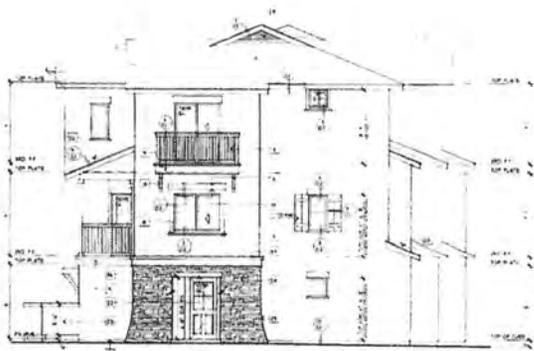


ADKVAS
ARCHITECTURAL DESIGN & VISUALIZATION SERVICES, INC.

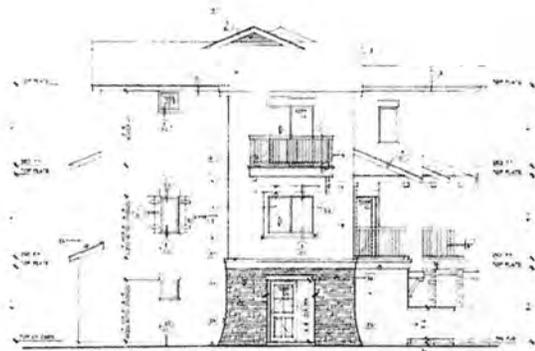
LARK ELLEN VILLAS
A 25 UNIT APARTMENT COMPLEX, COVENANT, CAP.
FOR LARK ELLEN VILLAS LLC 2003

BUILDING #4
SECOND FLOOR PLAN
THIRD FLOOR PLAN

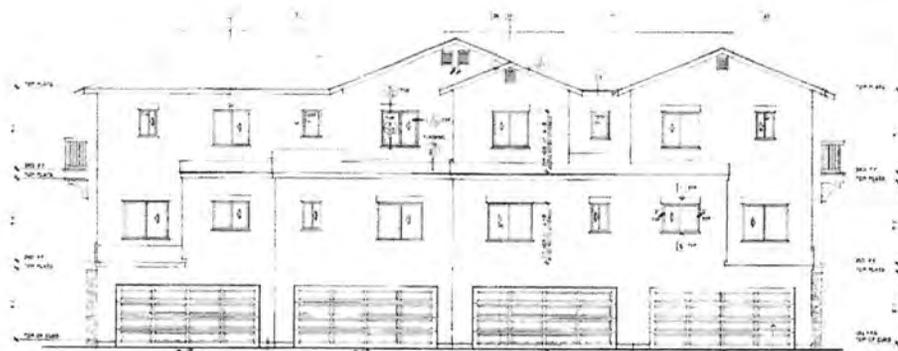
A4.2



UNIT-A
RIGHT ELEVATION SCALE: 1/4" = 1'-0"



UNIT-AE
LEFT ELEVATION SCALE: 1/4" = 1'-0"



UNIT-A UNIT-B UNIT-BE UNIT-AE
REAR ELEVATION SCALE: 1/4" = 1'-0"

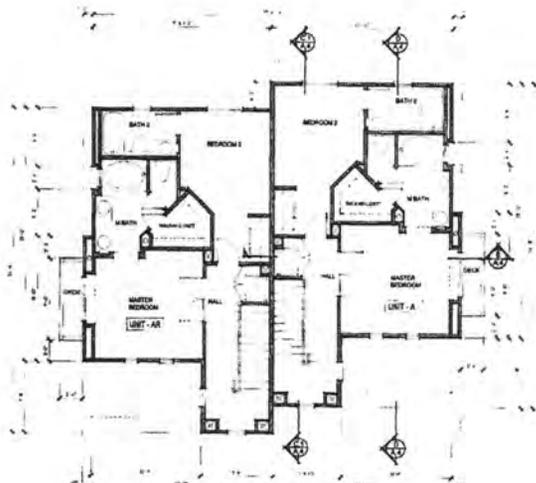
EXTERIOR ELEVATION NOTES

1. SEE GENERAL NOTES FOR FINISHES AND MATERIALS.
2. ALL EXTERIOR SURFACES SHALL BE PROTECTED WITH AN APPROPRIATE FINISH.
3. ALL EXTERIOR SURFACES SHALL BE MAINTAINED IN GOOD REPAIR.
4. ALL EXTERIOR SURFACES SHALL BE CLEANED AND PAINTED AS NECESSARY.
5. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM WEATHER DAMAGE.
6. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM COLLISION DAMAGE.
7. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM VANDALISM.
8. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM THEFT.
9. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM FIRE.
10. ALL EXTERIOR SURFACES SHALL BE PROTECTED FROM TERRORISM.

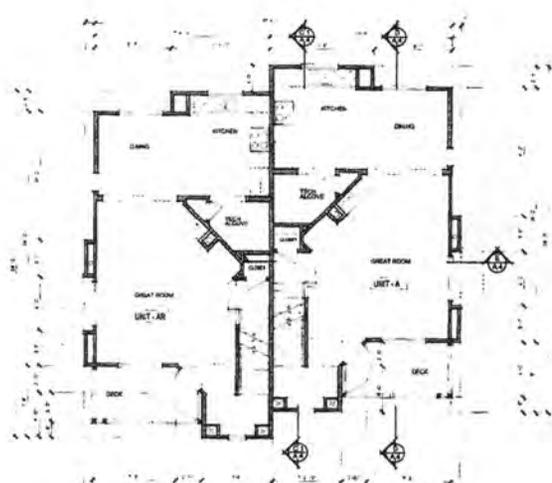
ADKVAS
 ARCHITECTURAL DESIGN & CONSTRUCTION
 12345 MAIN STREET
 PORTLAND, ME 04101
 TEL: (603) 555-1234
 FAX: (603) 555-5678
 WWW.ADKVAS.COM

LARK ELLEN VILLAS
 A 24-HOUR SECURED COMMUNITY
 PORTLAND, ME 04101

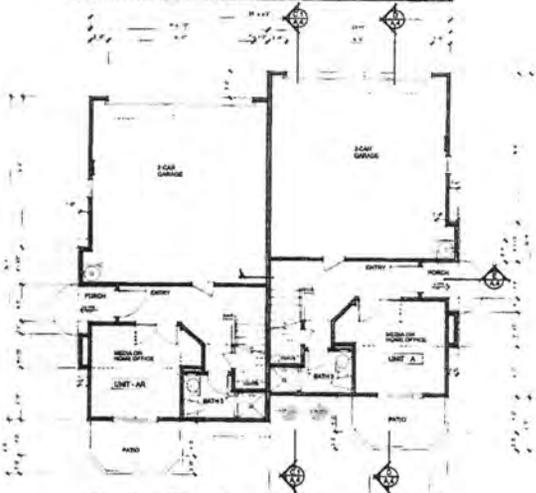
BUILDING #4
 EXTERIOR ELEVATIONS
A4.4



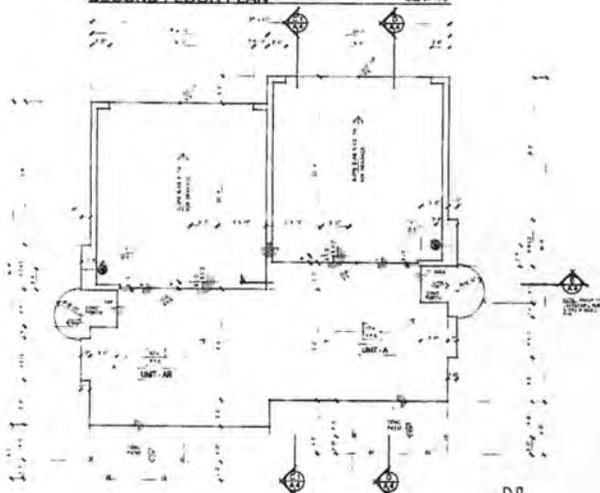
THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

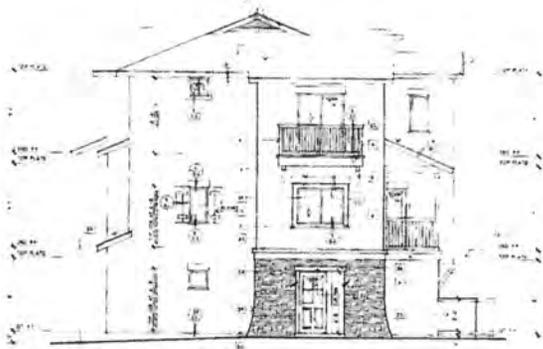


SLAB EDGE PLAN

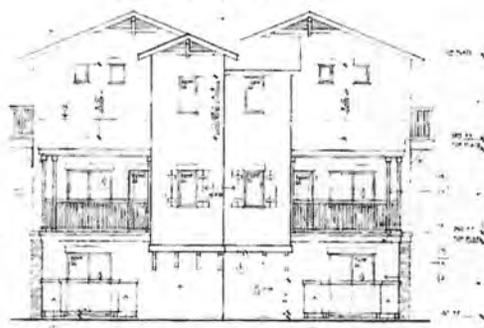



LARK ELLEN VILLAS
 A 23 UNIT APARTMENT COMPLEX, COVINA, CALIF.
 FOR LARK ELLEN VILLAS LLC 2003


 BUILDING #5
 SLAB EDGE PLAN
 FLOOR PLAN
A5.1



LEFT ELEVATION



FRONT ELEVATION

EXTERIOR ELEVATION NOTES

1. SEE PLAN FOR WINDOW AND DOOR SCHEDULES.
2. ALL EXTERIOR SURFACES TO BE FINISHED WITH STONE VENEER.
3. ALL EXTERIOR WALLS TO BE FINISHED WITH STONE VENEER.
4. ALL EXTERIOR ROOFING TO BE FINISHED WITH ASPH/FLT SHINGLES.
5. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1/2" CDX SHEATHING.
6. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" RAFTERS.
7. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" TRUSSES.
8. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BRACES.
9. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" STUDS.
10. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" JOISTS.
11. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" DIMBERS.
12. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BATTENS.
13. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SIDING.
14. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SHINGLES.
15. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SLATES.
16. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" TILES.
17. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" METAL.
18. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" COPPER.
19. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BRASS.
20. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" ALUMINUM.

NOTES

1. SEE PLAN FOR WINDOW AND DOOR SCHEDULES.
2. ALL EXTERIOR SURFACES TO BE FINISHED WITH STONE VENEER.
3. ALL EXTERIOR WALLS TO BE FINISHED WITH STONE VENEER.
4. ALL EXTERIOR ROOFING TO BE FINISHED WITH ASPH/FLT SHINGLES.
5. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1/2" CDX SHEATHING.
6. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" RAFTERS.
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18. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" COPPER.
19. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BRASS.
20. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" ALUMINUM.

ATTIC VENTILATION CALC.

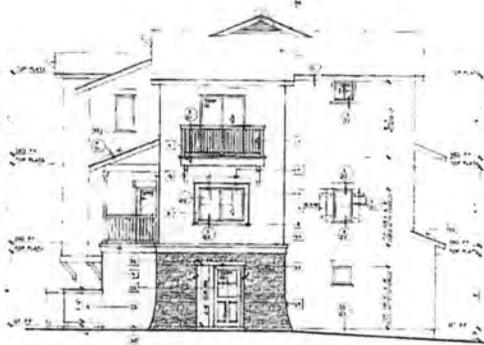
ITEM	DESCRIPTION	AREA	CFM
1	ATTIC VENTILATION	100.00	100.00
2	ATTIC VENTILATION	100.00	100.00
3	ATTIC VENTILATION	100.00	100.00
4	ATTIC VENTILATION	100.00	100.00
5	ATTIC VENTILATION	100.00	100.00
6	ATTIC VENTILATION	100.00	100.00
7	ATTIC VENTILATION	100.00	100.00
8	ATTIC VENTILATION	100.00	100.00
9	ATTIC VENTILATION	100.00	100.00
10	ATTIC VENTILATION	100.00	100.00
11	ATTIC VENTILATION	100.00	100.00
12	ATTIC VENTILATION	100.00	100.00
13	ATTIC VENTILATION	100.00	100.00
14	ATTIC VENTILATION	100.00	100.00
15	ATTIC VENTILATION	100.00	100.00
16	ATTIC VENTILATION	100.00	100.00
17	ATTIC VENTILATION	100.00	100.00
18	ATTIC VENTILATION	100.00	100.00
19	ATTIC VENTILATION	100.00	100.00
20	ATTIC VENTILATION	100.00	100.00
TOTAL	TOTAL	2000.00	2000.00

ROOF NOTES

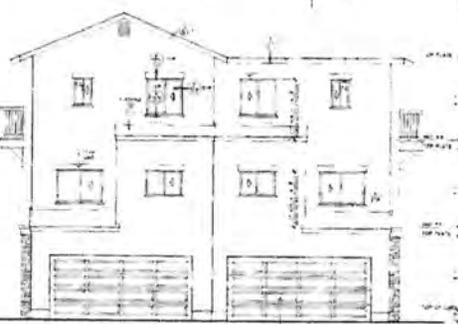
1. SEE PLAN FOR WINDOW AND DOOR SCHEDULES.
2. ALL EXTERIOR SURFACES TO BE FINISHED WITH STONE VENEER.
3. ALL EXTERIOR WALLS TO BE FINISHED WITH STONE VENEER.
4. ALL EXTERIOR ROOFING TO BE FINISHED WITH ASPH/FLT SHINGLES.
5. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1/2" CDX SHEATHING.
6. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" RAFTERS.
7. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" TRUSSES.
8. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BRACES.
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10. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" JOISTS.
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12. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BATTENS.
13. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SIDING.
14. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SHINGLES.
15. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SLATES.
16. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" TILES.
17. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" METAL.
18. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" COPPER.
19. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BRASS.
20. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" ALUMINUM.

ATTIC VENTILATION

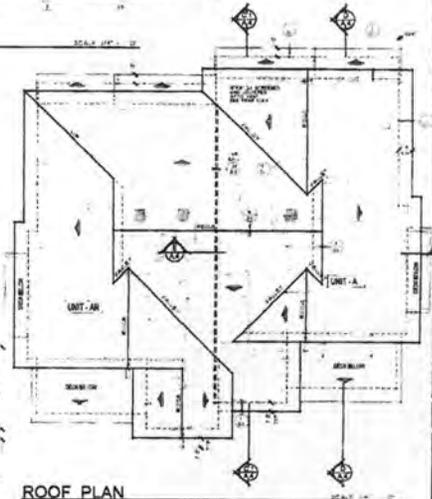
1. SEE PLAN FOR WINDOW AND DOOR SCHEDULES.
2. ALL EXTERIOR SURFACES TO BE FINISHED WITH STONE VENEER.
3. ALL EXTERIOR WALLS TO BE FINISHED WITH STONE VENEER.
4. ALL EXTERIOR ROOFING TO BE FINISHED WITH ASPH/FLT SHINGLES.
5. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1/2" CDX SHEATHING.
6. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" RAFTERS.
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12. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BATTENS.
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15. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" SLATES.
16. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" TILES.
17. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" METAL.
18. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" COPPER.
19. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" BRASS.
20. ALL EXTERIOR ROOFING TO BE FINISHED WITH 1" X 6" ALUMINUM.



RIGHT ELEVATION



REAR ELEVATION



ROOF PLAN



KEY PLAN

ADKVAS
 ARCHITECTURAL DESIGN & CONSTRUCTION
 1200 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 WWW.ADKVAS.COM

LARK ELLEN VILLAS
 23 UNIT APARTMENT COMPLEX, COVINA, CA
 P.O. BOX 1000, COVINA, CA 91701

BUILDING #5
 ROOF PLAN
 EXTERIOR ELEVATIONS
A5.2

SAMPLE NOTICE

May 21, 2015

The Grovelands 2002 LLC
133 East Bonita Ave Suite #201
San Dimas CA 91773

To all residents at The Lark Ellen Villas
501-521 N. Lark Ellen Ave
Covina Ca 91723

To the occupants of 501-521 North Lark Ellen Ave, Covina Ca 91723:

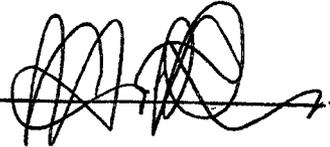
The owner of these buildings, at 501-521 North Lark Ellen Ave, has filed or plans to file a tentative map with the City of Covina to convert these buildings to a condominium. You shall be given notice of each hearing for which notice is required pursuant to Sections 66451.3 and 66452.5 of the Government Code, and you have the right to appear and the right to be heard at any such hearing.

No units may be sold unless the conversion is approved by the City and until after a public report is issued by the Department of Real Estate.

Further, each tenant has the opportunity for a "First Right of Refusal" This means a notice will be given to you that offers you the right to decide if you wish to purchase your unit on the same terms and conditions that are offered to the general public.



John Begin, Owner of The Grovelands 2002 LLC
Date 5/21/15



Resident
Apartment number 521 A

Resident

Apartment number

EXHIBIT 133 A



CITY OF COVINA

ADDITIONAL FUTURE NOTICES TO CURRENT TENANTS OF LARK ELLEN VILLAS ABOUT CONDOMINIUMS CONVERSION

Dear Tenants/Occupants:

On May 21, 2015 you received a Notice of Intent to Convert to Condominiums from the Property Owner of Lark Ellen Villas. On June 11 and on July 3, 2015, the City of Covina sent you a Notice of Public Hearing for the consideration of the Tentative Tract Map No. 73397 to convert the apartment units to for-sale condominiums by the Planning Commission at its July 14, 2015 meeting. You are invited to the meeting. Further, the City would like to inform you that there will be additional noticing regarding the condominiums conversion at various stages, according to Municipal Code Section 16.12.040 and Government Code Section 66427.1, 66452.17 through 66452.20. They are as follows:

- Written Notice of Final Map Approval to the tenants not less than 10 days from the date of approval of the Final Map by the City Council
- Provide an affidavit to the City stating that each tenant has received written notification not less than 10 days from approval of a Final Map by the City Council.
- 10 days prior to filing an application with the State Department of Real Estate Board, provide notice of such filing and include in the notice that the report shall be available upon request to the tenant and the City.
- Not less than 90 days before the date of issuance of the subdivision public report, offer the tenants the right to purchase the unit.
- Provide an affidavit stating that each tenant has received a written notification of intention to convert not less than 180 days prior to termination of tenancy due to conversion.

QUESTIONS: If you have any questions on the proposed condominiums conversion, feel free to call Alan Carter, City Planner, or Nancy Fong, Community Development Consultant, in the Covina Community Development Department, Planning Division, at (626) 384-5450.

EXHIBIT "5"



CITY OF COVINA

PLANNING COMMISSION AGENDA REPORT

ITEM NUMBER CPH 1

July 14, 2015

TO: Chairman and Members of the Planning Commission

FROM: Brian K. Lee, Community Development Director

SUBJECT: Applications Tentative Tract Map (TTM) No. 73397, Conditional Use Permit (CUP) 15-010, a proposed conversion of an existing 23-unit, 3-story apartment complex into condominiums (not involving any new development) on a roughly 1.1-acre site at 501-521 North Lark Ellen Avenue - APN: 8434-011-006
(Continued from June 23, 2015 meeting)

SITE AND PROJECT DESCRIPTION

A. Project Information:

Request: Proposed conversion of 23 units to condominiums
 Applicant: The Grovelands 2002 LLC
 Property Owner: John Begin
 Location: 501 - 521 North Lark Ellen Avenue
 Assessor Parcel
 Map No: 8434-011-006

B. Site and Surrounding Land Uses-Table 1:

	General Plan	Zoning	Existing Uses
Site	High Density Residential	RD2000/PCD	23 residential unit complex
North	High Density Residential	RD 2000; R-1-7500	Apartment complex; single family residences
South	City of West Covina	City of West Covina	Senior housing apartments
East	General Commercial, High Density Residential	C-4, Highway Commercial; R-1-7500	7 Eleven and small office uses; single family residences
West	High Density Residential	RD 2000	Apartment complex

EXHIBIT 6

- C. Site Characteristics: The project site is located at the northwest corner of Lark Ellen Avenue and San Bernardino Road and is approximately 1.06 acres in size. The site is developed with 5 buildings consisting of 23 residential units. The residential units are 3-story townhouse product where each unit has their own attached 2-car garage, balcony and patio for private usable yard, and share common open space areas. The access to the site is from Lark Ellen Avenue and San Bernardino Road.

ANALYSIS

- A. Background: In September 2004, the Planning Commission recommended three legislative actions to the City Council. One was the approval of a General Plan Amendment GPA 03-003 that changed the land use map designation for the site from “General Commercial” to “High Density Residential.” Two was the approval of a Zone Change ZCH 03-003 that changed the zoning district from Highway Commercial, C-4 to RD-2000, Residential Density of 1 dwelling unit per 2000 square feet of lot area. Three was the approval of a Planned Community Development Overlay District PCD 03-005 to allow modifications of various development standards to accommodate the development of the 23 residential unit complex. Then, the Planning Commission approved a Site Plan Review SPR 03-028 for the design of the 23 residential units subject to the City Council approval of the three legislative applications. It has been the intent of the Applicant from the time he submitted the project to convert the residential units to for-sale condominium units when the time was right. The 23 residential units were designed specifically to meet the condominium standards. A Mitigated Negative Declaration including a Mitigation Monitoring Program was adopted in conjunction with the project approval by the City Council in October 2004. The 23 residential unit project named Lark Ellen Villas was completed in 2006.

Fast forward to today, the Applicant submitted a Tentative Tract Map for the subdivision of the units as for-sale condominiums in February 2015. The requirements for the conversion of the existing units to for-sale condominium units are discussed in Section E of the report.

- B. General Plan and Land Use Compatibility: The project site is designated High Density Residential in the General Plan and is zoned Residential Multifamily (RD) with a Planned Community Development Overlay District. The proposed project does not change the density of the site and has no additional units proposed to be developed. The density of the project is very similar to existing apartment complexes that are close by to the north and west sides of the project site. Policy 4.6 of the 2010 Housing Element encourages the City to address the increasing difficulty for first-time homebuyers. The conversion of the residential units to for-sale condominium units will increase the opportunities for first-time homebuyers to achieve home ownership. The south side of the project is developed with a senior apartment complex located within the City of West Covina. The east side of the project is developed with a retail store and small office uses,

and a church. The proposed project to convert existing 23 residential units to for-sale condominium units will have no adverse effect on surrounding properties or uses.

C. Development Standards Custom fit for the Project - Table 2:

	Development Standards	Code Requirement	Existing under the established PCD 03-005
1.	Density	1 unit/2000 square feet; 22 dwelling unit per acre	1 unit/2000 square feet; 21 dwelling units per acre
2.	Lot Size	7,200 square feet	47,916 square feet
3.	Building Height	35 feet	35 feet
4.	Unit Size	1,250 square feet	1,499 square feet (13 units) 1,502 square feet (10 units)
5.	Setbacks		
	Front Yard at San Bernardino Road - First-story	Average 25 feet	Varies between 14 feet and 20 feet
	Front Yard at San Bernardino Road - Second-story	40 feet	Varies between 14 feet and 20 feet
	Street Side at Lark Ellen - first story	15 feet	10 feet
6.	Distance between Buildings	18 feet	Varies between 11 to 17 feet
7.	Off-Street Parking	2.5 spaces per each 2-bedroom unit	2-car garage per unit
8.	Guest Parking	5 spaces at 1 space per 5 units	9 spaces
9.	Balcony	120 square feet	63 square feet
10.	Patio	200 square feet	58 square feet
11.	Storage areas	175 cubic feet	None

In addition to the above listed modified standards, the Planned Community Development Overlay established the following modifications to this project:

- Open parking spaces in the required front and side yards
- Placement of air conditioning condensers within the required front and side yards, but screened
- Private usable yard within the required front and street side yard setbacks
- A patio wall height of 48 inches instead of the required 42 inches
- Width of the interior perimeter planter areas decrease from the required 5 feet to a range of 0 to 3 feet.

The project was designed as condominiums as each unit has washer and dryer hook-ups, individual gas and electric meters, and an attached 2-car garage, which distinguish them from apartments.

- D. Compliance with Zoning Code and Exterior Condition of the Project: As illustrated by Table-2 and together with the established Planned Community Overlay District, the project is in conformance with the Zoning Code. Staff conducted a windshield survey of the project and determined that the exterior of the buildings, the site improvements and the landscaping have been properly maintained. Building and Safety and Code Enforcement staff stated that they did not find any code violations for the residential complex.
- E. Requirements of Condominium Conversion: The purpose of the conversion from a rental property to condominium is to permit the sale of the units for ownership with common areas being shared by all owners. Of the 23 units within Lark Ellen Villas, 22 units are occupied by tenants and one unit is vacant. The Applicant has been advised by staff and has sent a required Notice of Intent (Exhibit"5") to convert to condominiums to all the tenants. Staff has received the signed notices from 21 tenants who have received them but one tenant has refused to sign the notice. Under the State Subdivision Map Act and the City's Subdivision Ordinance (Title 16.12 of the Municipal Code), the Applicant is required to provide a number of reports about the physical conditions of the buildings and each unit, the overall site improvements and additional notices to tenants about the conversion. The 23 unit condominium must comply with the physical standards of the City such as but are limited to Building Regulations, Fire Prevention, Health and Safety, etc., as required under Municipal Code Section 16-12-030B. The required reports and notices are summarized as follows:
1. Reports (Municipal Code Section 16-12-020)
 - Physical Elements Report to be prepared by a registered engineer or architect or licensed qualified contractor describing the physical elements of all structures and facilities, sound transmission levels between units, mechanical equipment., parking facilities and appliances.
 - A Pest Control report for each building and each unit
 - A Soils and Geological Report
 - A Statement of Repairs and Improvements to be made
 - Covenants, Conditions and Restricts (CC&Rs)
 - Specific information on the demographic characteristic of the project such as makeup of existing tenants' households, proposed sale price of each unit, proposed homeowners' association fee, financing available, etc.
 - Signed copies from each tenant of a notice of intent to convert. (The Applicant has completed this item.)

- Submittal of a budget
 - Copy of the above mentioned reports to prospective buyers
2. Additional Noticing to City and Current Tenants or Prospective Tenants (Municipal Code Section 16.12.040 and Government Code Section 66427.1, 66452.17 through 66452.20)
- Written Notice of Final Map Approval to the tenants not less than 10 days from the date of approval of the Final Map by the City Council
 - Provide an affidavit to the City stating that each tenant has received written notification not less than 10 days from approval of a Final Map by the City Council.
 - 10 days prior to filing an application with the State Department of Real Estate Board, the Applicant shall provide notice of such filing and include in the notice that the report shall be available upon request to the tenant and the City.
 - Not less than 90 days before the date of issuance of the subdivision public report, offer the tenants the right to purchase the unit.
 - Provide an affidavit stating that each tenant has received a written notification of intention to convert not less than 180 days prior to termination of tenancy due to conversion.
 - The Applicant shall provide alternate housing to tenant household, at no additional cost to the tenant, whose unit undergoes substantial remodeling or rehabilitation during the conversion, if the unit being remodeled or rehabilitated is not habitable.
3. Additional Items Recommended by Staff
- The Applicant should submit a counseling assistance plan to provide relocation counseling and assistance in non-purchasing tenants, to aid such tenants in finding and relocating to equivalent housing.
 - The Applicant should provide a warranty against common area defects and the form of such warranty must be submitted to the City for review and approval.

The above-identified reports, statements and notices have been included in the conditions of approval attached to the proposed Resolution. The reports, statements, and information must be completed and submitted for review before submittal of Final Map plan check. The various reports must be approved by the City before scheduling the Final Map for City Council review and approval.

F. Finding of Facts for Tentative Tract Map: In approving the proposed subdivision for converting existing residential units to condominium units, the Planning Commission shall make the following facts to support the findings.

1. All provisions of this Municipal Code Chapter 16.20 are met;

Finding of Facts: The Applicant will be required to comply with the requirements listed in Chapter 16.20 such as but are not limited to the following – physical elements report, pest control report for each building and unit, a repair and improvements reports, preparation of Covenants, Conditions and Restrictions (CC&Rs), budget, statement, noticing per Government Code Section 66427.1. These requirements are placed as conditions of approval, which shall be complied with to the satisfaction of the City, prior to Final Map approval by the City Council. Therefore, with the conditions of approval, the proposed project will meet all provisions of Covina Municipal Code Chapter 16.20.

2. The proposed conversion is consistent with the goals, objectives, policies, general land uses and programs specified in the general plan, including the housing element, and with any applicable specific plan;

Finding of Facts: The project site is designated High Density Residential in the General Plan and is zoned Residential Multifamily (RD) with a Planned Community Development Overlay District. The proposed project does not change the density of the project and has no additional units proposed to be developed. The density of the project is very similar to existing apartment complexes that are close by to the north and west sides of the project site. Policy 4.6 of the Housing Element encourages the City to address the increasing difficulty for first time homebuyers. The conversion of the residential units to for-sale condominium units will increase the opportunities for first time homebuyers to achieve home ownership.

3. The overall design, physical condition and amenities of the condominium conversion are consistent with those associated with condominium developments throughout the city and such elements achieve a high degree of appearance, quality and safety;

Finding of Facts: The proposed project was designed to meet the condominiums standards in 2004 with the intention for future conversion to for-sale condominium units. The overall design, the physical conditions and the amenities under the established Planned Community Development Overlay District (PCD 03-005) achieve a high degree of appearance, quality and safety.

4. There is no evidence in the public hearing record to indicate that vacancies in the project were intentionally increased for the purpose of preparing the project for conversion; and

Finding of Facts: There is only one vacant unit within the 23 residential unit complex and there is no evidence to indicate that the vacancies in the project were intentionally increased for the purpose of preparing the project for conversion.

5. There is no evidence in the public hearing record to indicate that tenants have been coerced to publicly support or approve the conversion, or to refrain from publicly opposing it, or to forgo any assistance to which they may be entitled.

Finding of Facts: The Applicant served a Notice of Intent to file for conversion to each tenant on May 21, 2015. City has given each tenant a notice of public hearing for the proposed project and an information sheet regarding the future noticing to assist each tenant in understanding the noticing requirements and the condominium conversion process. Therefore, there is no evidence that indicate the tenants have been coerced to publicly support or approve the conversion, or to refrain from publicly opposing it, or to forgo any assistance to which they may be entitled.

- G. Finding of Facts for Conditional Use Permit: In approving the proposed Conditional Use Permit for converting existing residential units to condominiums, the Planning Commission shall make the following facts to support the findings:

1. That the site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping and other features required by this title to adjust the use with land and uses in the neighborhood;

Finding of Facts: The square-shaped 1.1-acres site is adequate in size to accommodate the proposed project. The existing physical improvements with the yards, the open space, the walls and fences, the parking and other amenities are conforming to the character of the surrounding multifamily development.

2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;

Finding of Facts: The site is at the northwest corner of West San Bernardino Road and Lark Ellen Avenue. The proposed project is fully developed. West San Bernardino Road is a major thoroughfare while Lark Ellen is a collector street. The Traffic Study at the time of project design in 2004 determined that there

would be sufficient capacity to handle the increased traffic. The project was completed in 2006.

3. That the proposed use will have no adverse effect on abutting property or the permitted use thereof;

Finding of Facts: The north and west sides of the project are developed with multifamily apartment complexes. The south side of the project site is developed with a senior apartment complex located within the City of West Covina. The east side of the project is developed with a retail store and small office uses, and a church. The proposed project to convert existing 23 residential units to for-sale condominium units will have no adverse effect on abutting properties or permitted uses thereof.

4. That the conditions stated in the decision are deemed necessary to protect the public health, safety and general welfare.

Finding of Facts: All the conditions of approval are necessary to comply with Municipal Code and Governmental Code Section 66427.1 in order to protect the public, safety and general welfare.

PUBLIC HEARING NOTICE AND NOTIFICATION

The applicant was given a copy of the staff report and the exhibits. All property owners within a radius of at least 300 feet from the overall project site including the current occupants or tenants of the Lark Ellen Villas were mailed the Planning Commission public hearing notices on June 11, 2015, a minimum of ten (10) days before the hearing as required by law. In addition, the public hearing notice was published in the San Gabriel Examiner newspaper on June 11, 2015.

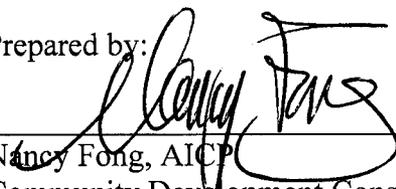
ENVIRONMENTAL DETERMINATION

The City has analyzed that the proposed project of converting the existing 23 residential units to condominiums do not meet the definition of a "project" as defined in California Environmental Quality Act (CEQA) Guidelines Section 15378. Further, it has been determined that the proposed project would be categorically exempt in accordance with Section 15301(k), Class 1 of the CEQA Guidelines. Furthermore, a Mitigated Negative Declaration and the Mitigation Monitoring Program was adopted by the City Council on October 19, 2004 in the original approval of the 23 residential units, which were designed to meet the condominium standards.

RECOMMENDATION

Staff recommends that the Planning Commission make a recommendation of approval to the City Council of converting the existing 23 residential units to condominium units through the adoption of the attached Resolution No. 2015-013PC with conditions of approval.

Prepared by:



Nancy Fong, AICP
Community Development Consultant

Approved by:



Brian K. Lee
Community Development Director

EXHIBITS

1. Area Map
2. 300-foot Radius Map and Notification and Tenant List
3. Project Plans (reductions), full size under separate cover
4. Notices of Intent to Convert to Condominiums to occupants/tenants
5. Information Notice to Tenants on Future Noticing Requirement
6. Planning Commission Resolution 2015-013PC recommending approval with Conditions of Approval

RESOLUTION NO. 2015-013 PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COVINA, CALIFORNIA, RECOMMENDING APPROVAL OF TENTATIVE TRACT MAP (TTM) 73397 AND CONDITIONAL USE PERMIT (CUP) 15-010 FOR THE CONVERSION OF THE EXISTING 23 RESIDENTIAL UNITS TO FOR-SALE CONDOMINIUM UNITS—APNS: 8434-011-006

WHEREAS, The Grovelands 2002 LLC, “the applicant” submitted a Tentative Tract Map (TTM) 73397 and a Conditional Use Permit (CUP) 15-010 as described in the title of this Resolution to the City of Covina. Hereinafter in this Resolution, the subject application requests are referred to as “the project.”

WHEREAS, the proposed project named “Lark Ellen Villas,” is a 1.1 acres site and fully developed with 23 residential units on 5 buildings, parking, drive aisles, landscaped yards and other site improvements.

WHEREAS, on June 23 and continued to July 14, 2015, the Planning Commission conducted a duly noticed public hearing at which time the parties were afforded the opportunity to present oral and written evidence to the Planning Commission and rebut the oral and written evidence presented. The Planning Commission concluded the public hearing on said date.

WHEREAS, public hearing notice has been given at the time and in the manner required by State Law and City Codes.

WHEREAS, all legal prerequisites prior to adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF COVINA, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The foregoing recitals are true and correct and are incorporated herein and made an operative part of this Resolution.

SECTION 2. After considering all evidence presented at the public hearing, both oral and documentary, and after being fully informed, said Planning Commission does hereby find and decide:

TENTATIVE TRACT (TTM) 73397

- a. All provisions of Covina Municipal Code Chapter 16.12 are met;

Finding of Facts: The Applicant will be required to comply with the requirements listed in Chapter 16.12 such as but are not limited to the following – physical elements report, pest control report for each building and unit, a repair and

improvements reports, preparation of Covenants, Conditions and Restrictions (CC&Rs), budget, statement, noticing per Government Code Section 66427.1. These requirements are placed as conditions of approval, which shall be complied with to the satisfaction of the City, prior to Final Map approval by the City Council. Therefore, with the conditions of approval, the proposed project will meet all provisions of Covina Municipal Code Chapter 16.12.

- b. The proposed conversion is consistent with the goals, objectives, policies, general land uses and programs specified in the general plan, including the housing element, and with any applicable specific plan;

Finding of Facts: The project site is designated High Density Residential in the General Plan and is zoned Residential Multifamily (RD) with a Planned Community Development District. The proposed project does not change the density of the site and has no additional units proposed to be developed. The density of the project is very similar to existing apartment complexes that are close by to the north and west sides of the project site. Policy 4.6 of the Housing Element encourages the City to address the increasing difficulty for first time homebuyers. The conversion of the residential units to for-sale condominium units will increase the opportunities for first time homebuyers to achieve home ownership.

- c. The overall design, physical condition and amenities of the condominium conversion are consistent with those associated with condominium developments throughout the city and such elements achieve a high degree of appearance, quality and safety;

Finding of Facts: The proposed project was designed to meet the condominium standards in 2004 with the intention for future conversion to for-sale condominium units. The overall design, the physical conditions and the amenities under the established Planned Community Development Overlay District (PCD 03-005) achieve a high degree of appearance, quality and safety.

- d. There is no evidence in the public hearing record to indicate that vacancies in the project were intentionally increased for the purpose of preparing the project for conversion; and

Finding of Facts: There is only 1 vacant unit within the 23 residential unit complex and there is no evidence to indicate that the vacancies in the project were intentionally increased for the purpose of preparing the project for conversion.

- e. There is no evidence in the public hearing record to indicate that tenants have been coerced to publicly support or approve the conversion, or to refrain from publicly opposing it, or to forgo any assistance to which they may be entitled.

Finding of Facts: The Applicant has served a Notice of Intent to file for conversion to each tenant on May 21, 2015. City has given each tenant a notice of public hearing for the proposed project and an information sheet regarding the future noticing to assist each tenant in understanding the noticing requirements and the condominium conversion process. Therefore, there is no evidence that indicate the tenants have been coerced to publicly support or approve the conversion, or to refrain from publicly opposing it, or to forgo any assistance to which they may be entitled.

CONDITIONAL USE PERMIT (CUP) 15-010:

- a. That the site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping and other features required by this title to adjust the use with land and uses in the neighborhood;

Finding of Facts: The square-shaped 1.1-acre site is adequate in size to accommodate the proposed project. The existing physical improvements with the yards, the open space, the walls and fences, the parking and other amenities are conforming to the character of the surrounding multifamily development.

- b. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;

Finding of Facts: The site is at the northwest corner of West San Bernardino Road and Lark Ellen Avenue. The proposed project is fully developed. West San Bernardino Road is a major thoroughfare while Lark Ellen is a collector street. The Traffic Study at the time of project design in 2004 determined that there would be sufficient capacity to handle the increased traffic. The project was completed in 2006.

- c. That the proposed use will have no adverse effect on abutting property or the permitted use thereof;

Finding of Facts: The north and west sides of the project are developed with multifamily apartment complexes. The south side of the project site is developed with a senior apartment complex within the City of West Covina. The east side of the project is developed with a retail store and small office uses, and a church. The proposed project to convert existing 23 residential units to for-sale condominium units will have no adverse effect on abutting property or permitted use thereof.

- d. That the conditions stated in the decision are deemed necessary to protect the public health, safety and general welfare.

Finding of Facts: All the conditions of approval are necessary to comply with Municipal Code and Governmental Code Section 66427.1 in order to protect the public, safety and general welfare.

SECTION 3. The Planning Commission has analyzed the proposed project of converting the existing 23 residential units to condominium units and made the determination that it does not meet the definition of a "project" as defined in California Environmental Quality Act (CEQA) Guidelines Section 15378. Further, the Planning Commission determined that the proposed project would be categorically exempt in accordance with Section 15301(k), Class 1 of the CEQA Guidelines. Furthermore, a Mitigated Negative Declaration and the Mitigation Monitoring Program was adopted by the City Council on October 19, 2004 in the original approval of the 23 residential units, which were designed to meet the condominium standards.

SECTION 4. Based upon the findings and conclusion set forth in Sections 1, 2 and 3 above, the Planning Commission hereby recommends approval of the proposed project to the City Council:

- A. Tentative Tract Map (TTM) 74497 and Conditional Use Permit (CUP) 15-010 are hereby recommended approved, subject to the conditions of approval set forth in the written record before the Commission incorporated here and attached hereto as Exhibit "A."
- B. The Secretary of the Planning Commission is directed to serve, by first-class mail, a written notice of this decision to the Applicant within five (5) days.

SECTION 5. This Resolution shall become effective immediately upon its adoption, subject to a 10 calendar-day appeal period

PASSED, APPROVED AND ADOPTED by the members of the Planning Commission of the City of Covina at a regular meeting thereof held on the 14th day of July.



CHARLES HODVAPP, CHAIRMAN
CITY OF COVINA PLANNING COMMISSION

I hereby certify that the foregoing is a true copy of a resolution adopted by the Planning Commission of the City of Covina at a regular meeting thereof held on the 14TH day of July, by the following vote of the Planning Commission:

AYES: CONNORS, HODAPP, MANNING, MCMEEKIN, PATTERSON

NOES: NONE

ABSENT: NONE

ABSTAIN: NONE



COVINA PLANNING COMMISSION SECRETARY

RESOLUTION NO. 2015-013 PC - EXHIBIT "A"
CONDITIONS OF APPROVAL
FOR TENTATIVE TRACT MAP (TTM) 73397
AND CONDITIONAL USE PERMIT 15-010

**A 23-UNIT CONDOMINIUM CONVERSION LOCATED AT 501 N. LARK
ALLEN (APN: 8434-011-006)**

1.0 TIME LIMITS:

- 1.1 Tentative Tract Map (TGM) 73397: Approval of this application will expire two years from the date of project approval if the final map is not recorded. The applicant may apply to extend the expiration date for a period not to exceed one year upon written request to the City Planner a minimum of thirty (30) days prior to expiration. The request must be approved by the City Council prior to expiration of the applications.
- 1.2 Conditional Use Permit (CUP) 15-010: Approval of this application will be subject to revocation two years from the date of project approval, unless extended by the City Council, if building permits are not issued.

2.0 TENTATIVE TRACT MAP 73397:

- 2.1 This approval will not be effective until the applicant and/or subdivider has filed with the Planning Division an affidavit stating that they are aware of and agree to accept all of the conditions of this approval within 15 calendar days from the date of approval.
- 2.2 All pertinent conditions of approval and the environmental mitigations of the adopted Mitigation Monitoring Program contained in Site Plan Review SPR 03-028, General Plan Amendment GPA 03-003, Zone Change ZCH 03-003 and Planned Community Development PCD 03-005 shall apply.
- 2.3 A Home Owner's Association (HOA) shall be formed.
- 2.4 The Covenants, Conditions and Restrictions (CC&Rs) and Articles of Incorporation of the Homeowner's Association are subject to the review and approval of the Planning and Engineering Division and the City Attorney. They shall be recorded concurrently with the Final Map. A recorded copy shall be provided to the City. The Homeowner's Association shall submit to the Planning Division a list of the names and addresses of their officers on or before January 1 of each or every year and whenever said information changes.

- 2.5 The CC&Rs shall include, but not be limited to: the conveyance of units; the assignment of parking; an agreement for common area maintenance, including facilities and landscaping, together with an estimate of any initial assessment fees anticipated for such maintenance; description of a provision for maintenance of all utility lines and services for each unit; and a plan for equitable sharing of communal water metering.
- 2.6 The CC&Rs shall include provisions prohibiting the storage of recreation vehicles, boats, or other water crafts, or inoperative vehicles in garages or all open parking areas.
- 2.7 Applicant and/or subdivider shall label and delineate on the final map common areas such but are not limited to private drive aisles, open space, walkways, trash receptacles area as letter lot(s) for future HOA maintenance.
- 2.8 Applicant and/or subdivider shall label and delineate on the Final Map any private drives or fire lanes to the satisfaction of the Public Works Director.
- 2.9 Final Map plan check shall be submitted to Public Works Department. Prior to submitting the Final Map for plan check, the Applicant and/or subdivider shall submit to Community Development Department the following reports and information:
 - a. A Physical Elements Report. A report prepared by a registered engineer or architect or licensed qualified contractor describing the physical elements of all structures and facilities, sound transmission levels between units, mechanical equipment, parking facilities and appliances. The report shall state, to the best knowledge or estimate of the applicant, when such element was built; the condition of each element; the cost of replacing said element; and any variation or noncompliance of said element from the zoning code or this chapter in effect at the time the application is filed with the city and from the city building code in effect on the date the last building permit was issued for the subject structure. The report shall identify any defective or unsafe elements and set forth the proposed corrective measures to be employed.
 - b. A report from a licensed structural pest control operator, approved by the city, on each structure and each unit within the structure.
 - c. A report on soil and geological conditions regarding soil deposits, rock formations, faults, ground water, and landslides in the vicinity of the project and a statement regarding any known evidence of soil problems relating to the structures. Reference shall be made to any previous soils reports for the site and a copy submitted with said report.
 - d. A statement of repairs and improvements to be made by the subdivider necessary to refurbish and restore the project to achieve a level of appearance

and safety consistent with applicable codes and ordinances.

- 2.10 Prior to scheduling the Final Map for City Council review and approval, the following conditions shall be complied with:
- a. 10 days prior to filing an application with the Department of Real Estate Board, provide tenants notice of such filing and include in the notice that the report shall be available upon request.
 - b. Provide an affidavit stating that each tenant of the proposed conversion project notification within ten (10) days of approval of a final map.
 - c. Not less than 90 days before the date of issuance of the subdivision public report, offer the tenants the right to purchase the unit.
 - d. Provide an affidavit stating that each tenant of the proposed conversion project has received written notification of intention to convert not less than 180 days prior to termination of tenancy due to the conversion or proposed conversion pursuant to Government Code 66427.1
 - e. Submit a counseling assistance plan to provide relocation counseling and assistance to non-purchasing tenants, to aid such tenants in finding and relocating to equivalent housing.
 - f. Provide a warranty against common area defects. The applicant must provide a form of the proposed warranty for review and approval with the application.
 - f. The applicant shall submit a copy of the City's Occupancy Inspection Report.
 - g. A physical inspection of the project site, including each individual unit, shall be made by the City's Building and Safety and Planning Divisions. Such inspection shall be made to ensure compliance with all applicable conditions of approval as specified in the Tentative Tract Map. All such correction shall be made prior to the approval of the Final Map. The Applicant and/or subdivider shall be responsible for the payment of any fees related to the inspection of the project.
 - h. The Applicant and/or subdivider shall comply with Municipal Code Chapter 16.12.030B, the physical standards of the City such as but are not limited to Building Regulations, Fire Prevention, Health and Safety, sound transmission (Uniform Building Code UBC), condition of equipment and appliances, refurbishing and restoration and long-term reserves.
 - i. The Applicant and/or subdivider shall provide each purchaser with a copy of all submittals (in their final acceptable form) required by Chapter 16.12.020 subsections A through I of the Covina Municipal Code prior to said purchaser

executing any purchase agreement or other contract to purchase a unit within the project, and the Applicant and/or subdivider shall give the purchaser sufficient time to review said information. Copies of the submittals shall be made available at all times at the sales office and a notice indicating that such reports are available shall be posted at various locations, as approved by the city, at the project site. Copies shall be provided to the homeowners' association upon its formation.

- 2.11 Prior to entering into escrow on the first unit, the Applicant and/or subdivider shall submit the following information to the planning department:
- a. Name, address and phone number of homeowners' association;
 - b. Actual sales price of units;
 - b. Actual homeowners' association fee;
 - d. Number of prior tenants who intend to purchase units;
 - e. Number of units purchased with intent to be used as rentals; and
 - f. The final form of the physical elements report and other documents shall be as approved by the city. The reports in their acceptable form shall remain on file with the planning department for review by any interested persons until the conclusion of the conversion process.
- 2.12 Within 10 days of approval of the final map, notify tenants of such approval.

3.0 CONDITIONAL USE PERMIT 15-010 GENERAL REQUIREMENTS:

- 3.1 The project shall maintain all the development and design features in accordance with the approved plans on file with the Community Development Department, all representations of record made by the applicant(s), the conditions contained herein, the Covina Municipal Code, and the Covina Design Guidelines. In addition, any future proposed changes or modifications in the design of any site component approved herein shall not be changed without City approval.
- 3.2 Approval of this request shall not waive compliance with all other sections of the Covina Municipal Code, the Covina Design Guidelines, and all other applicable plans and non-City laws and regulations that are in effect at the time of building permit issuance.
- 3.3 Any future proposed new uses, building or interior expansions, and/or site improvement modifications shall first be reviewed and approved by the City staff for conformance with these approvals, the Covina Municipal Code, the Covina Design Guidelines, and the applicable permit issuance processes. If determined

by the Planning staff to exceed the scope or intent of these approvals or in any way conflict with the appurtenant conditions, then the City may require the approval of a new or additional zoning application (if needed), and/or the submittal of certain use- or impact-related studies to address any identified concerns.

- 3.4 Final Plans incorporating all conditions of approval shall be submitted for City Planner review and approval prior to issuance of permit. All construction plans and documents shall conform to plans approved by the Planning commission. Conditions listed herein shall be printed upon the face of and included as part of the construction plans.
- 3.5 All air conditioning compressors shall be properly screened from public view
- 3.6 All drive aisles shall meet the width, clearance and other emergency vehicle accessibility provisions of the Los Angeles County Fire Department.
- 3.7 Except in approved parking stall area, all drive aisles shall be posted with signage indicating "NO PARKING" at conspicuous locations.
- 3.8 All construction must conform to the below-noted construction mitigation plan or the City Noise Ordinance, prohibiting construction between 8:00 p.m. and 7:00 a.m. on any day and on Sundays and Holidays (except by special permit), whichever is stricter. Loud noise generating activities such as crushing concrete pavement will be restricted to 7 am – 6 p.m.
- 3.9 Applicant shall, at its own expense and with counsel selected by City, fully defend, indemnify and hold harmless City, its officials, officers, employees, and agents ("Indemnified Parties"), from and against any and all claims, suits, causes of action, fines, penalties, proceedings, damages, injuries or losses of any name, kind or description, specifically including attorneys' fees, ("Liabilities"), arising in any way out of City's approval of the Applications or the Project. Applicant's indemnification obligation shall include, but not be limited to, actions to attack, set aside, void, or annul the City's approval of the Applications, and Liabilities premised on, related to or invoking CEQA, including those arising out of City's decisions related to the Project's CEQA documents. City shall promptly notify Applicant of any such claim, action or proceeding, and shall cooperate fully in the defense of such claim, action, or proceeding. Applicant's indemnification obligations shall not be limited to the amount of insurance coverage that may be available to Applicant, and shall not otherwise be restricted or confined by the presence or absence of any policy of insurance held by City or Applicant.
- 3.10 Pursuant to California Government §66474.9, the subdivider also agrees to defend, indemnify and hold harmless, the Indemnified Parties from any claim, action or proceeding against the Indemnified Parties to attack, set aside, void or annul any map approval of the City, whether by its City Council, Planning

Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code §66499.37. The City shall promptly notify the subdivider and applicant of any such claim, action or proceeding, and the City shall cooperate fully in the defense.

- 3.11 If any provision of this approval is held or declared to be invalid, then the entire approval shall be void and the privileges granted hereunder shall lapse.
- 3.12 The Applicant shall reimburse the City for all fees and costs for special review of this application by both (i) the City's retained planning, engineering, and related consultants and (ii) the Covina City Attorney's Office. Such special review includes, but is not limited to, review of the Project's compliance with Covina parking regulations. City shall invoice the Applicant for said fees and costs and Applicant shall pay the invoiced amount not later than sixty (60) calendar days following Applicant's receipt of the invoice.
- 3.13 The costs and expenses of any code enforcement activities, including, but not limited to, attorneys' fees, caused by applicant's violation of any condition or mitigation measure imposed by this application or any provision of the Covina Municipal Code must be paid by the applicant.
- 3.14 The placement of post box receptacles must be coordinated with the Covina Post Office. The Planning Division will review the proposal.
- 3.15 Appropriate directional signage shall be installed on the project site.
- 3.16 All landscape or planter areas shown on the approved landscape plans shall remain landscaped in perpetuity. These areas shall not be paved or used for storage or any similar purpose inconsistent with this approval.
- 3.17 All building and site improvements together with landscaping and irrigation must be maintained in a sound, healthy, and attractive condition free of weeds, visible deterioration, graffiti, debris and/or other conditions that violate the Covina Municipal code.
- 3.18 Any broken, damaged, or blighted features of the property or any building(s) thereon shall be repaired or removed.
- 3.19 In accordance with Chapter 11.36 of the Covina Municipal Code, no street trees adjacent to the appurtenant site shall be cut or trimmed in any manner by any persons associated with property unless a written permit from the Public Works Department is first obtained.
- 3.20 The exterior lighting shall be maintained in accordance with the approved plans on file with the Community Development Department.

- 3.21 The installation of any security system shall comply with Chapter 8.20 of the Covina Municipal Code. The Applicant, at the earliest possible time, shall inform the Police Department of any proposed security system installation plans. Failure to timely inform the Police Department may delay building permit issuance.
- 3.22 The City has the right of entry to inspect the premises to verify compliance with the conditions of approval and the Covina Municipal Code at any time.
- 3.23 All conditions of approval including the conditions of approval under Tentative Tract Map 73397 are required to be complied with, prior to issuance of any building permit.

4.0 The following requirements of the Building and Safety Division are applicable:

- 4.1 Submit two (2) sets of complete plans including any proposed utilities and earthwork; two sets shall be “stamped approved” by the Covina Planning Division and include the Building and Safety Division’s comments for consultant review.
- 4.2 This project must comply with Federal and State Accessibility requirements to and throughout the building. Include compliance methods and structural details on the plans.
- 4.3 The Los Angeles County Fire Department needs to review your construction plans, to expedite this process you will need to contact one or more of their Regional plan check office(s): Appointments to discuss Fire Department requirements may be made between 7:30 a.m. and 10:30 a.m. The main office is located at 5823 Rickenbacker Road, Commerce, CA 90040-3027. Phone number is (323) 890-4125. Regional plan check offices for the Los Angeles County Fire Department:

Glendora Office, Building Plan Review Only
 231 Mountain View Avenue
 Glendora, CA 91740
 (626) 963-0067

Commerce Office, Sprinkler & Alarm Plan Review
 5823 Rickenbacker Road
 Commerce, CA 90040-3027
 (323) 890-4125

Commerce Office, Land Development / Access
 5823 Rickenbacker Road
 Commerce, CA 90040-3027
 (323) 890-4243

- 4.4 Provide an additional digital copy (pdf preferred) of the building floor plan,

elevations, and site plan to be submitted to the LA County Assessor. This copy should be in sufficient detail to allow the assessor to determine the square footage of the building and, in the case of residential buildings, the intended use of each room. For additional information, please contact the LA County Assessor's, Public Service Desk at 888-807-2111.

- 4.5 School District application and approval including any related fees must be provided before permit issuance.
- 4.6 The Building and Safety Division plan check process may address additional concerns.
- 5.0 The following requirements of the Public Works Department, Engineering Division are applicable:
 - 5.1 The Tentative Parcel Map can be scheduled for Planning Commission review, however, prior to the submittal of Final Map plan check, a deposit of dollar amount that fully cover all costs associated with the Final Map review and approval shall be submitted to the Engineering Division.
- 6.0 The following requirements of the Los Angeles County Fire Department are applicable:
 - 6.1 The final Map shall be submitted to our office for review and approval prior to recordation. All existing private driveways/Fire lanes shall be clearly depicted on the Final Map.
 - 6.2 Access as noted on the Tentative and Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires all weather access.
 - 6.3 The private driveways shall be indicated on the site Final Map as "Private Driveway and Fire Lane" with the widths clearly depicted. Driveways shall be maintained in accordance with the Title 32, County of Los Angeles Fire Code.
 - 6.4 All hydrants shall measure 6"x4"x2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal.
 - 6.5 The required fire flow for the public fire hydrants on this residential development is 2750 gallon per minute at 20 psi for a duration of 2 hours, over and above maximum daily domestic demand.
 - 6.6 Install line new public fire hydrant on San Bernardino Road on the North West property line.
 - 6.7 All required public hydrants shall be installed, tested and accepted prior clearance of the final map.
 - 6.8 If there are any changes with the existing building configuration, contact Fire

Prevention Engineering at (626) 963-5564 for additional Fire Department requirements.

- END OF CONDITIONS -

RESOLUTION NO. 15-7387

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF COVINA, CALIFORNIA, APPROVING A TENTATIVE TRACT MAP (TTM) 73397 AND A CONDITIONAL USE PERMIT (CUP) 15-010 FOR THE CONVERSION OF THE EXISTING 23 RESIDENTIAL UNITS TO FOR-SALE CONDOMINIUM UNITS – APNS: 8434-011-006

WHEREAS, The Grovelands 2002 LLC, “the applicant” submitted a Tentative Tract Map (TTM) 73397 and a Conditional Use Permit (CUP) 15-010 as described in the title of this Resolution to the City of Covina. Hereinafter in this Resolution, the subject application requests are referred to as “the project.”

WHEREAS, the proposed project named “Lark Ellen Villas,” is a 1.1 acres site and fully developed with 23 residential units on 5 buildings, parking, drive aisles, landscaped yards and other site improvements.

WHEREAS, on June 23 and continued to July 14, 2015, the Planning Commission conducted a duly noticed public hearing at which time the parties were afforded the opportunity to present oral and written evidence to the Planning Commission and rebut the oral and written evidence presented. The Planning Commission concluded the public hearing on said date and recommended approval to the City Council with a unanimous vote.

WHEREAS, on August 18, 2015, the City Council conducted a duly notice public hearing, received public testimony and concluded the hearing on said date.

WHEREAS, all legal prerequisites prior to adoption of this Resolution have occurred.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED by the City Council of the City of Covina as follows:

SECTION 1. The foregoing recitals are true and correct and are incorporated herein and made an operative part of this Resolution.

SECTION 2. After considering all evidence presented at the public hearing, both oral and documentary, and after being fully informed, said City Council does hereby find and decide:

TENTATIVE TRACT (TTM) 73397

- a. All provisions of Covina Municipal Code Chapter 16.12 are met;

Finding of Facts: The Applicant will be required to comply with the requirements listed in Chapter 16.12 such as but are not limited to the following – physical elements report, pest control report for each building and unit, a repair and improvements reports, preparation of Covenants, Conditions and Restrictions (CC&Rs), budget, statement, noticing per Government Code Section 66427.1.

These requirements are placed as conditions of approval, which shall be complied with to the satisfaction of the City, prior to Final Map approval by the City Council. Therefore, with the conditions of approval, the proposed project will meet all provisions of Covina Municipal Code Chapter 16.12.

- b. The proposed conversion is consistent with the goals, objectives, policies, general land uses and programs specified in the general plan, including the housing element, and with any applicable specific plan;

Finding of Facts: The project site is designated High Density Residential in the General Plan and is zoned Residential Multifamily (RD) with a Planned Community Development District. The proposed project does not change the density of the site and has no additional units proposed to be developed. The density of the project is very similar to existing apartment complexes that are close by to the north and west sides of the project site. Policy 4.6 of the Housing Element encourages the City to address the increasing difficulty for first time homebuyers. The conversion of the residential units to for-sale condominium units will increase the opportunities for first time homebuyers to achieve home ownership.

- c. The overall design, physical condition and amenities of the condominium conversion are consistent with those associated with condominium developments throughout the city and such elements achieve a high degree of appearance, quality and safety;

Finding of Facts: The proposed project was designed to meet the condominiums standards in 2004 with the intention for future conversion to for-sale condominium units. The overall design, the physical conditions and the amenities under the established Planned Community Development Overlay District (PCD 03-005) achieve a high degree of appearance, quality and safety.

- d. There is no evidence in the public hearing record to indicate that vacancies in the project were intentionally increased for the purpose of preparing the project for conversion; and

Finding of Facts: There is only 1 vacant unit within the 23 residential unit complex and there is no evidence to indicate that the vacancies in the project were intentionally increased for the purpose of preparing the project for conversion.

- e. There is no evidence in the public hearing record to indicate that tenants have been coerced to publicly support or approve the conversion, or to refrain from publicly opposing it, or to forgo any assistance to which they may be entitled.

Finding of Facts: The Applicant has served a Notice of Intent to file for conversion to each tenant on May 21, 2015. City has given each tenant a notice of public hearing for the proposed project and an information sheet regarding the future noticing to assist each tenant in understanding the noticing requirements

and the condominium conversion process. Therefore, there is no evidence that indicate the tenants have been coerced to publicly support or approve the conversion, or to refrain from publicly opposing it, or to forgo any assistance to which they may be entitled.

CONDITIONAL USE PERMIT (CUP) 15-010:

- a. That the site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping and other features required by this title to adjust the use with land and uses in the neighborhood;

Finding of Facts: The square-shaped 1.1-acre site is adequate in size to accommodate the proposed project. The existing physical improvements with the yards, the open space, the walls and fences, the parking and other amenities are conforming to the character of the surrounding multifamily development.

- b. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;

Finding of Facts: The site is at the northwest corner of West San Bernardino Road and Lark Ellen Avenue. The proposed project is fully developed. West San Bernardino Road is a major thoroughfare while Lark Ellen is a collector street. The Traffic Study at the time of project design in 2004 determined that there would be sufficient capacity to handle the increased traffic. The project was completed in 2006.

- c. That the proposed use will have no adverse effect on abutting property or the permitted use thereof;

Finding of Facts: The north and west sides of the project are developed with multifamily apartment complexes. The south side of the project site is developed with a senior apartment complex within the City of West Covina. The east side of the project is developed with a retail store and small office uses, and a church. The proposed project to convert existing 23 residential units to for-sale condominium units will have no adverse effect on abutting property or permitted use thereof.

- d. That the conditions stated in the decision are deemed necessary to protect the public health, safety and general welfare.

Finding of Facts: All the conditions of approval are necessary to comply with Municipal Code and Governmental Code Section 66427.1 in order to protect the public, safety and general welfare.

SECTION 3. The City Council has analyzed the proposed project of converting the

existing 23 residential units to condominium units and made the determination that it does not meet the definition of a “project” as defined in California Environmental Quality Act (CEQA) Guidelines Section 15378. Further, the City Council determined that the proposed project would be categorically exempt in accordance with Section 15301(k), Class 1 of the CEQA Guidelines. Furthermore, a Mitigated Negative Declaration and the Mitigation Monitoring Program was adopted by the City Council on October 19, 2004 in the original approval of the 23 residential units, which were designed to meet the condominium standards.

SECTION 4. Based upon the findings and conclusion set forth in Sections 1, 2 and 3 above, the City Council hereby approve the proposed project:

- A. Tentative Tract Map (TTM) 74497 and Conditional Use Permit (CUP) 15-010, subject to the conditions of approval set forth in the written record before the Commission incorporated here and attached hereto as Exhibit “A.”

PASSED, APPROVED AND ADOPTED this 18th day of August 2015.

John King, Mayor

ATTEST:

Evenlyn , Inteirm City Clerk

APPROVED AS TO FORM:

Candyce Lee, City Attorney

CERTIFICATION

I, Evelyn Leach, Interim City Clerk of the City of Covina, California, do hereby certify that the Resolution No. 15-7387 was adopted by the Covina City Council at a regular meeting held on the 18TH day of August, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Evelyn Leach, Interim City Clerk

RESOLUTION NO. 15-7387 - EXHIBIT "A"
CONDITIONS OF APPROVAL
FOR TENTATIVE TRACT MAP (TTM) 73397
AND CONDITIONAL USE PERMIT 15-010

**A 23-UNIT CONDOMINIUM CONVERSION LOCATED AT 501 N. LARK
ALLEN (APN: 8434-011-006)**

1.0 TIME LIMITS:

- 1.1 Tentative Tract Map (TGM) 73397: Approval of this application will expire two years from the date of project approval if the final map is not recorded. The applicant may apply to extend the expiration date for a period not to exceed one year upon written request to the City Planner a minimum of thirty (30) days prior to expiration. The request must be approved by the City Council prior to expiration of the applications.
- 1.2 Conditional Use Permit (CUP) 15-010: Approval of this application will be subject to revocation two years from the date of project approval, unless extended by the City Council, if building permits are not issued.

2.0 TENTATIVE TRACT MAP 73397:

- 2.1 This approval will not be effective until the applicant and/or subdivider has filed with the Planning Division an affidavit stating that they are aware of and agree to accept all of the conditions of this approval within 15 calendar days from the date of approval.
- 2.2 All pertinent conditions of approval and the environmental mitigations of the adopted Mitigation Monitoring Program contained in Site Plan Review SPR 03-028, General Plan Amendment GPA 03-003, Zone Change ZCH 03-003 and Planned Community Development PCD 03-005 shall apply.
- 2.3 A Home Owner's Association (HOA) shall be formed.
- 2.4 The Covenants, Conditions and Restrictions (CC&Rs) and Articles of Incorporation of the Homeowner's Association are subject to the review and approval of the Planning and Engineering Division and the City Attorney. They shall be recorded concurrently with the Final Map. A recorded copy shall be provided to the City. The Homeowner's Association shall submit to the Planning Division a list of the names and addresses of their officers on or before January 1 of each or every year and whenever said information changes.
- 2.5 The CC&Rs shall include, but not be limited to: the conveyance of units; the assignment of parking; an agreement for common area maintenance, including facilities and landscaping, together with an estimate of any initial assessment fees

anticipated for such maintenance; description of a provision for maintenance of all utility lines and services for each unit; and a plan for equitable sharing of communal water metering.

- 2.6 The CC&Rs shall include provisions prohibiting the storage of recreation vehicles, boats, or other water crafts, or inoperative vehicles in garages or all open parking areas.
- 2.7 Applicant and/or subdivider shall label and delineate on the final map common areas such but are not limited to private drive aisles, open space, walkways, trash receptacles area as letter lot(s) for future HOA maintenance.
- 2.8 Applicant and/or subdivider shall label and delineate on the Final Map any private drives or fire lanes to the satisfaction of the Public Works Director.
- 2.9 Final Map plan check shall be submitted to Public Works Department. Prior to submitting the Final Map for plan check, the Applicant and/or subdivider shall submit to Community Development Department the following reports and information:
 - a. A Physical Elements Report. A report prepared by a registered engineer or architect or licensed qualified contractor describing the physical elements of all structures and facilities, sound transmission levels between units, mechanical equipment, parking facilities and appliances. The report shall state, to the best knowledge or estimate of the applicant, when such element was built; the condition of each element; the cost of replacing said element; and any variation or noncompliance of said element from the zoning code or this chapter in effect at the time the application is filed with the city and from the city building code in effect on the date the last building permit was issued for the subject structure. The report shall identify any defective or unsafe elements and set forth the proposed corrective measures to be employed.
 - b. A report from a licensed structural pest control operator, approved by the city, on each structure and each unit within the structure.
 - c. A report on soil and geological conditions regarding soil deposits, rock formations, faults, ground water, and landslides in the vicinity of the project and a statement regarding any known evidence of soil problems relating to the structures. Reference shall be made to any previous soils reports for the site and a copy submitted with said report.
 - d. A statement of repairs and improvements to be made by the subdivider necessary to refurbish and restore the project to achieve a level of appearance and safety consistent with applicable codes and ordinances.
- 2.10 Prior to scheduling the Final Map for City Council review and approval, the following conditions shall be complied with:

- a. 10 days prior to filing an application with the Department of Real Estate Board, provide tenants notice of such filing and include in the notice that the report shall be available upon request.
- b. Provide an affidavit stating that each tenant of the proposed conversion project notification within ten (10) days of approval of a final map.
- c. Not less than 90 days before the date of issuance of the subdivision public report, offer the tenants the right to purchase the unit.
- d. Provide an affidavit stating that each tenant of the proposed conversion project has received written notification of intention to convert not less than 180 days prior to termination of tenancy due to the conversion or proposed conversion pursuant to Government Code 66427.1
- e. Submit a counseling assistance plan to provide relocation counseling and assistance to non-purchasing tenants, to aid such tenants in finding and relocating to equivalent housing.
- f. Provide a warranty against common area defects. The applicant must provide a form of the proposed warranty for review and approval with the application.
- f. The applicant shall submit a copy of the City's Occupancy Inspection Report.
- g. A physical inspection of the project site, including each individual unit, shall be made by the City's Building and Safety and Planning Divisions. Such inspection shall be made to ensure compliance with all applicable conditions of approval as specified in the Tentative Tract Map. All such correction shall be made prior to the approval of the Final Map. The Applicant and/or subdivider shall be responsible for the payment of any fees related to the inspection of the project.
- h. The Applicant and/or subdivider shall comply with Municipal Code Chapter 16.12.030B, the physical standards of the City such as but are not limited to Building Regulations, Fire Prevention, Health and Safety, sound transmission (Uniform Building Code UBC), condition of equipment and appliances, refurbishing and restoration and long-term reserves.
- i. The Applicant and/or subdivider shall provide each purchaser with a copy of all submittals (in their final acceptable form) required by Chapter 16.12.020 subsections A through I of the Covina Municipal Code prior to said purchaser executing any purchase agreement or other contract to purchase a unit within the project, and the Applicant and/or subdivider shall give the purchaser sufficient time to review said information. Copies of the submittals shall be made available at all times at the sales office and a notice indicating that such reports are available shall be posted at various locations, as approved by the

city, at the project site. Copies shall be provided to the homeowners' association upon its formation.

- 2.11 Prior to entering into escrow on the first unit, the Applicant and/or subdivider shall submit the following information to the planning department:
- a. Name, address and phone number of homeowners' association;
 - b. Actual sales price of units;
 - b. Actual homeowners' association fee;
 - d. Number of prior tenants who intend to purchase units;
 - e. Number of units purchased with intent to be used as rentals; and
 - f. The final form of the physical elements report and other documents shall be as approved by the city. The reports in their acceptable form shall remain on file with the planning department for review by any interested persons until the conclusion of the conversion process.
- 2.12 Within 10 days of approval of the final map, notify tenants of such approval.

3.0 CONDITIONAL USE PERMIT 15-010 GENERAL REQUIREMENTS:

- 3.1 The project shall maintain all the development and design features in accordance with the approved plans on file with the Community Development Department, all representations of record made by the applicant(s), the conditions contained herein, the Covina Municipal Code, and the Covina Design Guidelines. In addition, any future proposed changes or modifications in the design of any site component approved herein shall not be changed without City approval.
- 3.2 Approval of this request shall not waive compliance with all other sections of the Covina Municipal Code, the Covina Design Guidelines, and all other applicable plans and non-City laws and regulations that are in effect at the time of building permit issuance.
- 3.3 Any future proposed new uses, building or interior expansions, and/or site improvement modifications shall first be reviewed and approved by the City staff for conformance with these approvals, the Covina Municipal Code, the Covina Design Guidelines, and the applicable permit issuance processes. If determined by the Planning staff to exceed the scope or intent of these approvals or in any way conflict with the appurtenant conditions, then the City may require the approval of a new or additional zoning application (if needed), and/or the submittal of certain use- or impact-related studies to address any identified concerns.

- 3.4 Final Plans incorporating all conditions of approval shall be submitted for City Planner review and approval prior to issuance of permit. All construction plans and documents shall conform to plans approved by the Planning commission. Conditions listed herein shall be printed upon the face of and included as part of the construction plans.
- 3.5 All air conditioning compressors shall be properly screened from public view
- 3.6 All drive aisles shall meet the width, clearance and other emergency vehicle accessibility provisions of the Los Angeles County Fire Department.
- 3.7 Except in approved parking stall area, all drive aisles shall be posted with signage indicating "NO PARKING" at conspicuous locations.
- 3.8 All construction must conform to the below-noted construction mitigation plan or the City Noise Ordinance, prohibiting construction between 8:00 p.m. and 7:00 a.m. on any day and on Sundays and Holidays (except by special permit), whichever is stricter. Loud noise generating activities such as crushing concrete pavement will be restricted to 7 am – 6 p.m.
- 3.9 Applicant shall, at its own expense and with counsel selected by City, fully defend, indemnify and hold harmless City, its officials, officers, employees, and agents ("Indemnified Parties"), from and against any and all claims, suits, causes of action, fines, penalties, proceedings, damages, injuries or losses of any name, kind or description, specifically including attorneys' fees, ("Liabilities"), arising in any way out of City's approval of the Applications or the Project. Applicant's indemnification obligation shall include, but not be limited to, actions to attack, set aside, void, or annul the City's approval of the Applications, and Liabilities premised on, related to or invoking CEQA, including those arising out of City's decisions related to the Project's CEQA documents. City shall promptly notify Applicant of any such claim, action or proceeding, and shall cooperate fully in the defense of such claim, action, or proceeding. Applicant's indemnification obligations shall not be limited to the amount of insurance coverage that may be available to Applicant, and shall not otherwise be restricted or confined by the presence or absence of any policy of insurance held by City or Applicant.
- 3.10 Pursuant to California Government §66474.9, the subdivider also agrees to defend, indemnify and hold harmless, the Indemnified Parties from any claim, action or proceeding against the Indemnified Parties to attack, set aside, void or annul any map approval of the City, whether by its City Council, Planning Commission or other authorized board or officer of this subdivision, which action is brought within the time period provided for in Government Code §66499.37. The City shall promptly notify the subdivider and applicant of any such claim, action or proceeding, and the City shall cooperate fully in the defense.
- 3.11 If any provision of this approval is held or declared to be invalid, then the entire approval shall be void and the privileges granted hereunder shall lapse.

- 3.12 The Applicant shall reimburse the City for all fees and costs for special review of this application by both (i) the City's retained planning, engineering, and related consultants and (ii) the Covina City Attorney's Office. Such special review includes, but is not limited to, review of the Project's compliance with Covina parking regulations. City shall invoice the Applicant for said fees and costs and Applicant shall pay the invoiced amount not later than sixty (60) calendar days following Applicant's receipt of the invoice.
- 3.13 The costs and expenses of any code enforcement activities, including, but not limited to, attorneys' fees, caused by applicant's violation of any condition or mitigation measure imposed by this application or any provision of the Covina Municipal Code must be paid by the applicant.
- 3.14 The placement of post box receptacles must be coordinated with the Covina Post Office. The Planning Division will review the proposal.
- 3.15 Appropriate directional signage shall be installed on the project site.
- 3.16 All landscape or planter areas shown on the approved landscape plans shall remain landscaped in perpetuity. These areas shall not be paved or used for storage or any similar purpose inconsistent with this approval.
- 3.17 All building and site improvements together with landscaping and irrigation must be maintained in a sound, healthy, and attractive condition free of weeds, visible deterioration, graffiti, debris and/or other conditions that violate the Covina Municipal code.
- 3.18 Any broken, damaged, or blighted features of the property or any building(s) thereon shall be repaired or removed.
- 3.19 In accordance with Chapter 11.36 of the Covina Municipal Code, no street trees adjacent to the appurtenant site shall be cut or trimmed in any manner by any persons associated with property unless a written permit from the Public Works Department is first obtained.
- 3.20 The exterior lighting shall be maintained in accordance with the approved plans on file with the Community Development Department.
- 3.21 The installation of any security system shall comply with Chapter 8.20 of the Covina Municipal Code. The Applicant, at the earliest possible time, shall inform the Police Department of any proposed security system installation plans. Failure to timely inform the Police Department may delay building permit issuance.
- 3.22 The City has the right of entry to inspect the premises to verify compliance with the conditions of approval and the Covina Municipal Code at any time.

3.23 All conditions of approval including the conditions of approval under Tentative Tract Map 73397 are required to be complied with, prior to issuance of any building permit.

4.0 The following requirements of the Building and Safety Division are applicable:

4.1 Submit two (2) sets of complete plans including any proposed utilities and earthwork; two sets shall be “stamped approved” by the Covina Planning Division and include the Building and Safety Division’s comments for consultant review.

4.2 This project must comply with Federal and State Accessibility requirements to and throughout the building. Include compliance methods and structural details on the plans.

4.3 The Los Angeles County Fire Department needs to review your construction plans, to expedite this process you will need to contact one or more of their Regional plan check office(s): Appointments to discuss Fire Department requirements may be made between 7:30 a.m. and 10:30 a.m. The main office is located at 5823 Rickenbacker Road, Commerce, CA 90040-3027. Phone number is (323) 890-4125. Regional plan check offices for the Los Angeles County Fire Department:

Glendora Office, Building Plan Review Only
231 Mountain View Avenue
Glendora, CA 91740
(626) 963-0067

Commerce Office, Sprinkler & Alarm Plan Review
5823 Rickenbacker Road
Commerce, CA 90040-3027
(323) 890-4125

Commerce Office, Land Development / Access
5823 Rickenbacker Road
Commerce, CA 90040-3027
(323) 890-4243

4.4 Provide an additional digital copy (pdf preferred) of the building floor plan, elevations, and site plan to be submitted to the LA County Assessor. This copy should be in sufficient detail to allow the assessor to determine the square footage of the building and, in the case of residential buildings, the intended use of each room. For additional information, please contact the LA County Assessor’s, Public Service Desk at 888-807-2111.

4.5 School District application and approval including any related fees must be provided before permit issuance.

- 4.6 The Building and Safety Division plan check process may address additional concerns.
- 5.0 The following requirements of the Public Works Department, Engineering Division are applicable:
- 5.1 The Tentative Parcel Map can be scheduled for Planning Commission review, however, prior to the submittal of Final Map plan check, a deposit of dollar amount that fully cover all costs associated with the Final Map review and approval shall be submitted to the Engineering Division.
- 6.0 The following requirements of the Los Angeles County Fire Department are applicable:
- 6.1 The final Map shall be submitted to our office for review and approval prior to recordation. All existing private driveways/Fire lanes shall be clearly depicted on the Final Map.
- 6.2 Access as noted on the Tentative and Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires all weather access.
- 6.3 The private driveways shall be indicated on the site Final Map as "Private Driveway and Fire Lane" with the widths clearly depicted. Driveways shall be maintained in accordance with the Title 32, County of Los Angeles Fire Code.
- 6.4 All hydrants shall measure 6"x4"x2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal.
- 6.5 The required fire flow for the public fire hydrants on this residential development is 2750 gallon per minute at 20 psi for a duration of 2 hours, over and above maximum daily domestic demand.
- 6.6 Install line new public fire hydrant on San Bernardino Road on the North West property line.
- 6.7 All required public hydrants shall be installed, tested and accepted prior clearance of the final map.
- 6.8 If there are any changes with the existing building configuration, contact Fire Prevention Engineering at (626) 963-5564 for additional Fire Department requirements.

- END OF CONDITIONS -