

Exhibit 8

Planning Community Development with School Impact Report
and Financial Feasibility Report

**Planned Community Development
One Charter Oak
City of Covina**



**CITY OF COVINA
125 East College Street
Covina, CA 91723**

Prepared for:
City of Covina Community Development Department
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SECTION 1: Introduction

The California Government Code Sections 65450 through 65457 authorize the City of Covina to prepare, adopt and implement Specific Plans/Planned Community Developments. The Planning Commission is required to hold a public hearing before recommending the adoption of the plan. The City Council may then adopt the plan by ordinance or resolution. Chapter 17.58 of the Covina Municipal Code contains the procedures for the adoption and implementation of these plans as follows.

17.58.010 Generally.

Planned community districts shall be created in the same manner as property is reclassified from one zone to another within the city, as set forth in this title. When a PCD district has been so created, it shall be designated upon the zoning map of the city as an overlay zone by adding the parenthetically enclosed letters "PCD" after the zoning symbol indicating the zone in which the subject property is included. (1964 Code Appx. A § 9.70.)

The purpose of the creation of a Planned Community Development is to implement the General Plan and Zoning Code in a flexible manner that ensures compatibility with existing land uses and future developments in the surrounding areas.

17.58.030 Purpose.

When a proposal for a new development is made and it is desirable to apply regulations more flexible than those applicable to other zones in this title, a planned community development district shall be established. Such districts may provide diversification in location of structure, uses and other site qualities while ensuring compatibility with uses and future developments on the surrounding areas as indicated within the general plan. (Ord. 1494 § 1, 1981; 1964 Code Appx. A § 9.70.)

This Planned Community Development is being prepared for the City of Covina, and contains information required by the City of Covina as indicated in CMC Section 17.58.090 indicated below:

17.58.090 Application - Supplemental data - Provisional plan.

In addition to the application, the applicant shall submit with his application 15 copies of a provisional site plan, elevations and architectural standards for the total development. Such plans shall be drawn to scale and shall indicate clearly and with full dimensions the following information:

- A. Lot dimensions and lot elevations of subject property and adjacent property;*
- B. All buildings and structures; location, typical floor plans, building elevations, size, height, proposed use;*
- C. The relation to the existing buildings and structures in the general vicinity and area. Models, raised contour and/or relief displays may be required;*
- D. Yards and spaces between buildings;*
- E. Walls and fences, locations, height and materials;*

- F. Off-street parking, location, number of spaces and dimensions of parking area, internal circulation pattern;*
- G. Access; pedestrian, vehicular, service; points of ingress and egress;*
- H. Loading, location, dimensions, number of spaces, internal circulation;*
- I. Street dedication and improvements, if required;*
- J. Drainage pattern;*
- K. Trash collection system;*
- L. All public utilities installations including poles, transformers, generators, vaults and meters;*
- M. If residential units are included, a unit breakdown shall be provided indicating type of unit, size in square feet of each typical type of unit;*
- N. All other data as may be required by the planning director;*
- O. The following information shall be made a part of the application unless waived by the commission at the public hearing:*
 - 1. An economic feasibility study by an independent economic firm or city staff at no expense to the city; the subject form and report scope shall be approved by the planning director,*
 - 2. A school impact study by an independent firm or city or school district staff at no expense to the city, indicating the effect of the proposed development upon the public school system; the subject form and report scope shall be approved by the planning director,*
 - 3. A report to the planning director and city manager listing financial capabilities to accomplish the development proposed; such data shall be available to the planning director and city manager in a form adequate for their review and recommendation to the planning commission and/or city council as to the security of completing the development proposed,*
 - 4. A traffic impact study at no cost to the city, by a registered civil engineer experienced in traffic studies; such study shall include the impact of the proposed development on the surrounding area, the traffic potential to be generated by the development, the adequacy or inadequacy of existing streets and highways to safely carry the predicted traffic loads, necessary changes in the street system or design caused by the development, projected cost of such improvements not to be borne by the developer and such other information as may be required by the planning director in order to aid in making his decision; the form, content and scope of the study shall be approved by the planning director. (Ord. 1232 § 2, 1973; 1964 Code Appx. A § 9.70.)*

Location and Setting

Regional

The project site is located in the City of Covina (City), which is in the southeastern portion of Los Angeles County (County), approximately 22 miles east of downtown Los Angeles (Figure 1 Project Location and Boundary Map). The City is adjacent to the Cities of Azusa and Glendora to the north, the City of West Covina to the south, the Cities of Irwindale and Baldwin Park to the west, and the City of San Dimas to the east. The City is also adjacent to a number of unincorporated communities, such as the communities of Citrus to the north and Vincent to the west.

Local

The Proposed Project is located at 800 N. Banna Avenue, on the southeast corner of Banna Avenue and Cypress Street (Figure 1 Project Location and Boundary Map). The project site is bounded by Cypress Street to the north, Colver Place to the south, Kidder Avenue to the east, and Banna Avenue to the west. Regional access to the project site is provided via Interstate 10 (I-10) to the south and State Route 57 (SR-57) to the east.

Project Site

The project site is located within a residential area of the City and was originally developed as a public elementary school (Banna Elementary). The site is 10.01 gross acres in size (as measured from the centerline of the perimeter streets) and 8.15 net acres in size (after full dedication and improvements of perimeter streets). The project site has not been used as an elementary school for approximately 25 years. Six single-story classroom and administration buildings, two restroom buildings, a parking lot, playground facilities, and field areas currently occupy the project site. The perimeter of the project site is surrounded by chain link fencing. The property is currently vacant. Access to the project site is provided via driveways located along North Banna Avenue.

The project site is designated School under the City's adopted General Plan (Figure 2 General Plan Land Use Map) and zoned R-1 7500 Residential Zone (Single Family) (Figure 3 Zoning Map). The project site is surrounded by existing single-family homes located immediately east, west, and south. Charter Oak High School and Los Angeles County Fire Station #153 are located to the north of the project site. A Metrolink railroad line running northeast-southwest across Cypress Street is also located north of the project site.

General Plan land use designations for the surrounding area include Low Density Residential adjacent to the west, south, and east of the project site; Medium Density Residential and School to the north of the project site; and General Industrial west of the rail line. Zoning designations for the surrounding area include R-1-7500 Residential Zone (Single-Family) adjacent to the west, south, and east of the project site; R-1-7500 Residential Zone (Single-Family) and RD Residential Zone (Multiple Family) to the north.

Figure 1 Project Location and Boundary Map

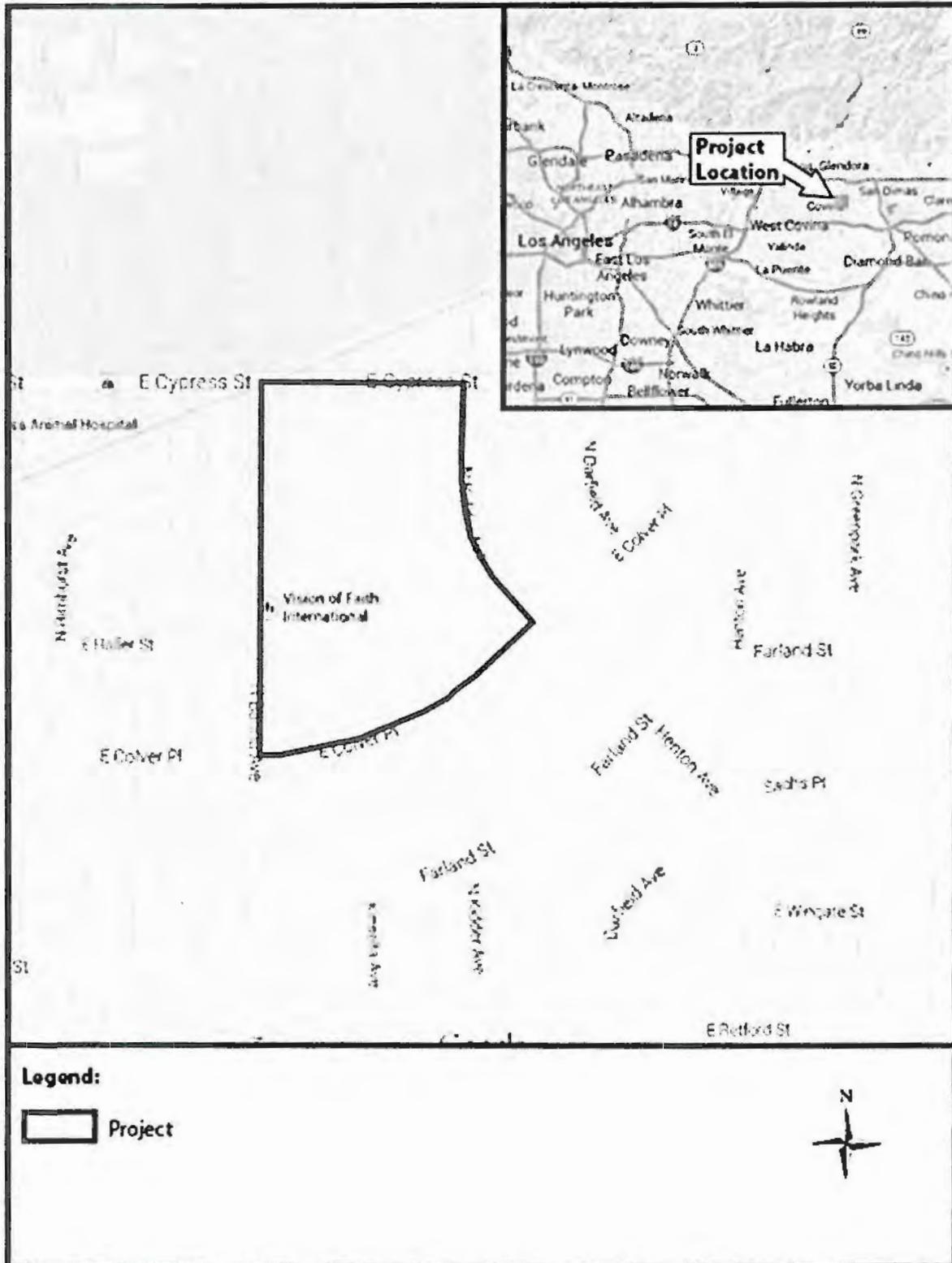


Figure 3 Zoning Map



Project Description and Required Actions

The Applicant is proposing to demolish the existing structures located on the project site and construct 63 detached single-family homes; as well as convey to the City of Covina land for a neighborhood park. The current parcel is 10.01 gross acres in size (8.15 net acres after dedication), of which approximately two acres will be conveyed to the City for a public park. The remaining acreage will be developed with the single-family homes, private streets and small landscaped area intended for passive outdoor use and storm water injection.

The Proposed Project would require the following actions:

1. General Plan Amendment No. 15-001 from School to Medium Density Residential
2. Development Agreement No. 15-001
3. Zone Change No. 15-001 from R-1-7500 Residential Zone (Single-Family) to RD (Multiple-Family) with a Planned Community Development (PCD) Overlay (Planned Community Development No. 15-001).
4. Tentative Track Map No. 73455
5. Site Plan Review No. 15-009
6. Adoption of a mitigated negative declaration

Phasing

The One Charter Oak development would be developed in eight phases during an 18 to 24 month construction period. Demolition and Grading of the site may begin after the expiration of the statute of limitations required by the California Environmental Quality Act (CEQA). The construction of the models may begin upon approval of the Final Tract Map. The estimated sequence of construction is provided below although certain activities will overlap thereby reducing the total duration of the project. The intent would be to begin tree/vegetation in January, 2016; commence demolition of buildings in March of 2016; commence grading in April/May 2016; model construction in May/June 2016 and finish final work in Fall of 2017.

- Phase 1: Demolition of buildings and tree/vegetation – Approximately 1 month
Phase 2: Excavation and Grading – Approximately 2 months
Phase 3-8: Model Phase and six construction phases of 10 homes each – Approximately 16 to 21 months

Relationship to the General Plan

The City of Covina General Plan Land Use Element addresses Covina's land use strategy through policies, a Land Use Plan, and program framework. These three tools seek to attain the City's primary land use goal of creating and maintaining:

A physical environment that provides for the housing, employment, business, service, recreational, social, educational, cultural, and entertainment needs of and maintains and enhances a high quality of life for its residents.

As referenced above in Section 1: Introduction, the creation and adoption of a Planned Community Development is an implementation tool of the General Plan, which allows a more flexible application of development standards while maintaining compatibility with existing surrounding uses and consistency with General Plan. The project site is currently designated as School in the Covina General Plan Land Use Element and zoned R-1-7500 Residential Zone (Single Family). The existing land use designation and zoning are currently incompatible. Adoption of this Planned Community Development would include a General Plan Amendment to re-designate the project site to Medium Density Residential, which would allow for a density range of 6.1 to 14.0 dwelling units per acre. The Proposed Project would be developed at a density of 7.7 units per acre, which is within the density range of the requested General Plan designation.

The adoption of this Planned Community Development would further the policies identified in the City's General Plan and contribute the City's primary land use goal identified above.

The City established the objective of facilitating a *"climate where moderate residential, commercial, and industrial development and redevelopment are accommodated"* (General Plan Land Use Element – Goals, Objectives, and Policies – Objective 1). The Proposed Project would support General Land Use Policy 6 under Objective 1 which states that the City endeavors to *"facilitate, through Zoning provisions and applicable procedures, infill development, development of now-underutilized or vacant parcels, and, where necessary, redevelopment of deteriorating properties, particularly for housing creation and rehabilitation and economic development purposes"*. Moreover, this Planned Community Development would contribute 63 housing units to the City's remaining unmet need for 991 housing units, reducing this unmet need by more than 6 per cent (Covina Draft Housing Element Update, dated November 15, 2010).

SECTION 2: Planned Community Development Components

Land Use Plan

Development within the One Charter Oak PCD includes the demolition of all structures on site and the removal of all asphalt and associated utilities. The project would be developed as a single-family residential neighborhood consisting of 63 detached single-family homes on the site and developed to the Medium Density Residential (MDR) land use designation as specified within the Covina General Plan. The MDR designation allows a density of 6.1 to 14 dwelling units per acre, which equates to a range of 49 to 114 dwelling units allowed on the site.

This planned community development would be adopted under the RD (PCD) Zone to allow for uses, density and standards similar to the surrounding area, but allow flexibility in the development standards. The planned community development will allow for single-family residential uses implementing a “small-lot” subdivision, which would include internal network of private streets and the creation of a new neighborhood park. The proposed development under this planned community development of 63 single-family homes on the site would result in a maximum density of 7.7 dwelling units per acre, consistent with the MDR General Plan Land Use designation and similar to the surrounding single family homes the surrounding area.

Site Plan and Floor Plans

Figure 4 Site Plan illustrates the site design and layout of the Proposed Project. The proposed development would consist of two-story detached product types and three unique plan types providing four and five bedroom floor plans. An approximate two-acre neighborhood park would be located on the northern portion of the site, with frontage on Kidder and Banna Avenues and Cypress Street, providing direct access for the existing residential neighborhood. The new single-family homes along the perimeter of the site (almost half of the proposed homes) are designed to be oriented toward the existing residential neighborhoods on Banna and Kidder Avenues and Colver Place. As shown in Figure 5 Floor Plans, each lot would contain two-story plan types ranging from approximately 2,095 square feet to 2,492 square feet in size. Plans 1 and 3 show a 4-bedroom layout with the option to provide a loft area on the second floor to function as a secondary gathering space for the home or provide a fifth bedroom, while Plan 2 provides a 4 bedroom layout with an upstairs loft. For Plan 1, no more than of 50% of the units would be constructed with the fifth bedroom floor plan. The final layout, size and design of the floor plans may change depending on market conditions and final design detail. Therefore the layout, size and configuration of the floor plans below may be modified and may vary up to 10% in size and may have an altered configuration and bedroom count. Figure 5 Floor Plans provides details on each of the plan types and Table 1 below provides a summary overview of the plan types for the entire project:

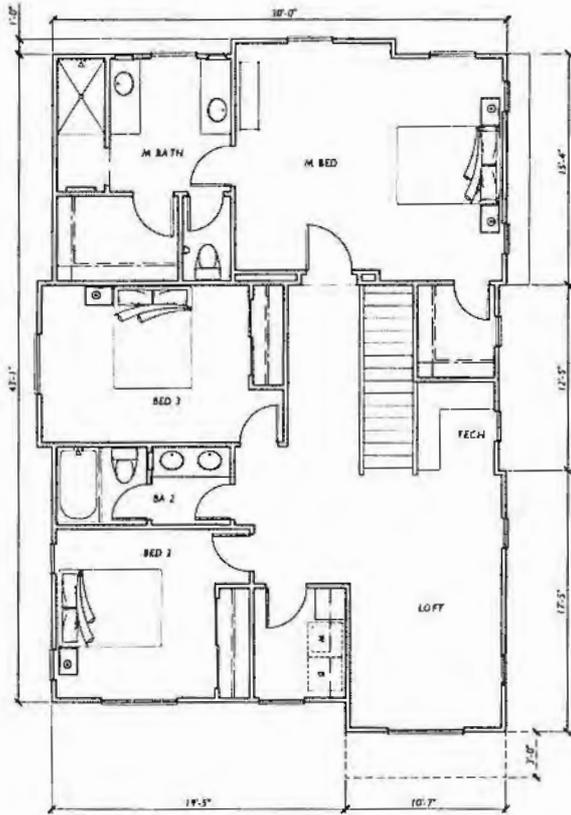
Table 1 Plan Types

Plan Type	No. of Units	No. of Stories	Square Footage	Product
Plan 1	20	2	2,095	4 BD + LOFT/ 5 BD
Plan 2	20	2	2,210	4 BD + LOFT
Plan 3	23	2	2,492	4 BD + LOFT/ 5 BD

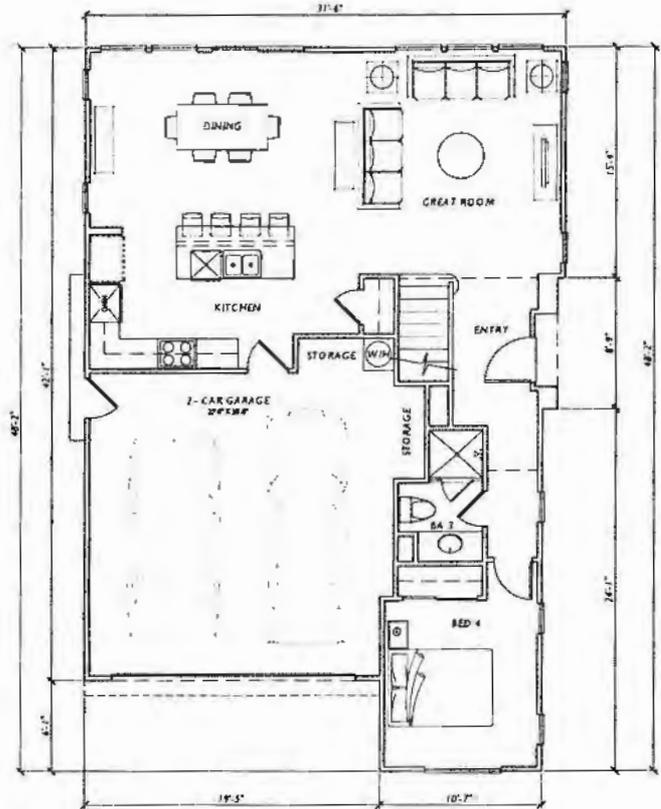
Figure 4 Site Plan



Figure 5 Floor Plans Plan 2



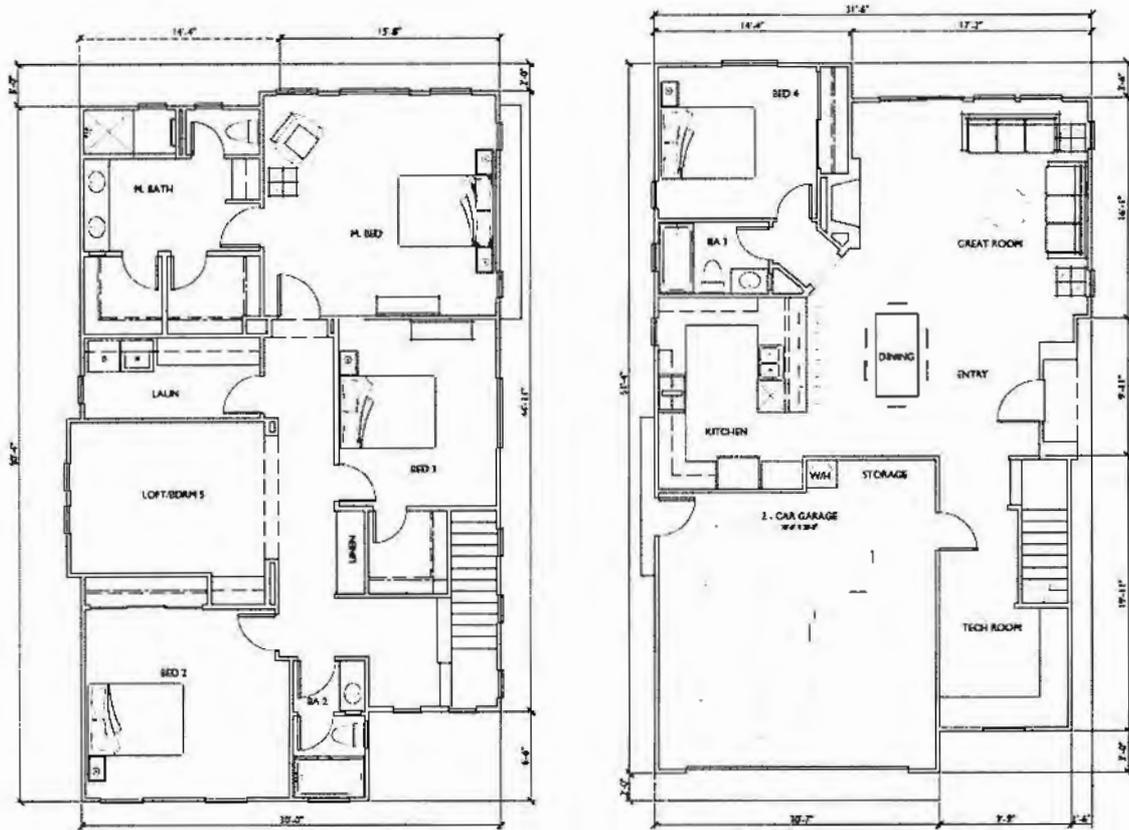
SECOND FLOOR PLAN 2



FIRST FLOOR PLAN 2

Plan 2 - 4 BD + LOFT	
First Floor:	912 s.f.
Second Floor:	1,298 s.f.
Total Livable	2,210 s.f.
Garage	425 s.f.

Figure 5 Floor Plans Plan 3



SECOND FLOOR PLAN 3

FIRST FLOOR PLAN 3

Plan 3 - 4 BD + LOFT/5TH BDRM	
First Floor	1,099 s.f.
Second Floor	1,443 s.f.
Total Livable	2,492 s.f.
Garage	425 s.f.

Access, Circulation and Parking

Access to the project site would be provided on Kidder Avenue and Banna Avenue, as shown in Figure 4 Site Plan and Figure 6 Tentative Tract Map. Both access locations are proposed to be un-signalized intersections with full-access, and no gate control. On-site vehicular circulation is proposed to be one street loop with two segments accessing the loop from both Kidder and Banna Avenues. The streets would vary from 26 feet to 36 feet in width to accommodate on-street parking on either one or both sides of portions of the street loop. Each of the new lots within the development would take direct access from the new street segments and street loop, while the lots on the perimeter would take access directly from the existing streets.

Per the Section 17.28.260 of the City's Municipal Code, the parking requirement for single-family units in the RD Residential Zone is two garage spaces per unit and one guest space for every five units. The Proposed Project would provide two-car garages and two driveway spaces for each unit, and 24 additional guest spaces on the private local streets within the project and along the perimeter of the project. The project provides the 126 garage spaces as required by the CMC. Based on the 63 single-family homes proposed, the CMC requires a total of 13 guest parking spaces. The Proposed Project would provide 150 guest parking spaces, which includes 126 private driveway spaces, and 24 in-tract guest spaces. In total, the Proposed Project would provide 276 parking spaces.

Figure 6 Tentative Tract Map



Figure 7 Parking Plan



- PARKING SUMMARY**
- 126 GARAGE STALLS (2 CAR, 20' X 20' CLR)
 - 126 PRIVATE DRIVEWAY STALLS
 - 24 IN-TACT GUEST STALLS
 - 276 TOTAL STALLS
 - 438 STALLS PER UNIT
- PARKING EXHIBIT LEGEND**
- ▲ RESIDENT GARAGE PARKING
 - OPEN GUEST STALLS
 - * PRIVATE GUEST STALLS

Private Yards and Landscaping Areas

Public Park

As shown in Figure 4 Site Plan and Figure 8 Preliminary Landscape Plan the common open space is achieved through the conveyance of land for the development of an approximately 2-acre park by the City. The City of Covina would program the park space, which may include active and passive recreation areas, gathering spaces and walking paths.

Private Open Space

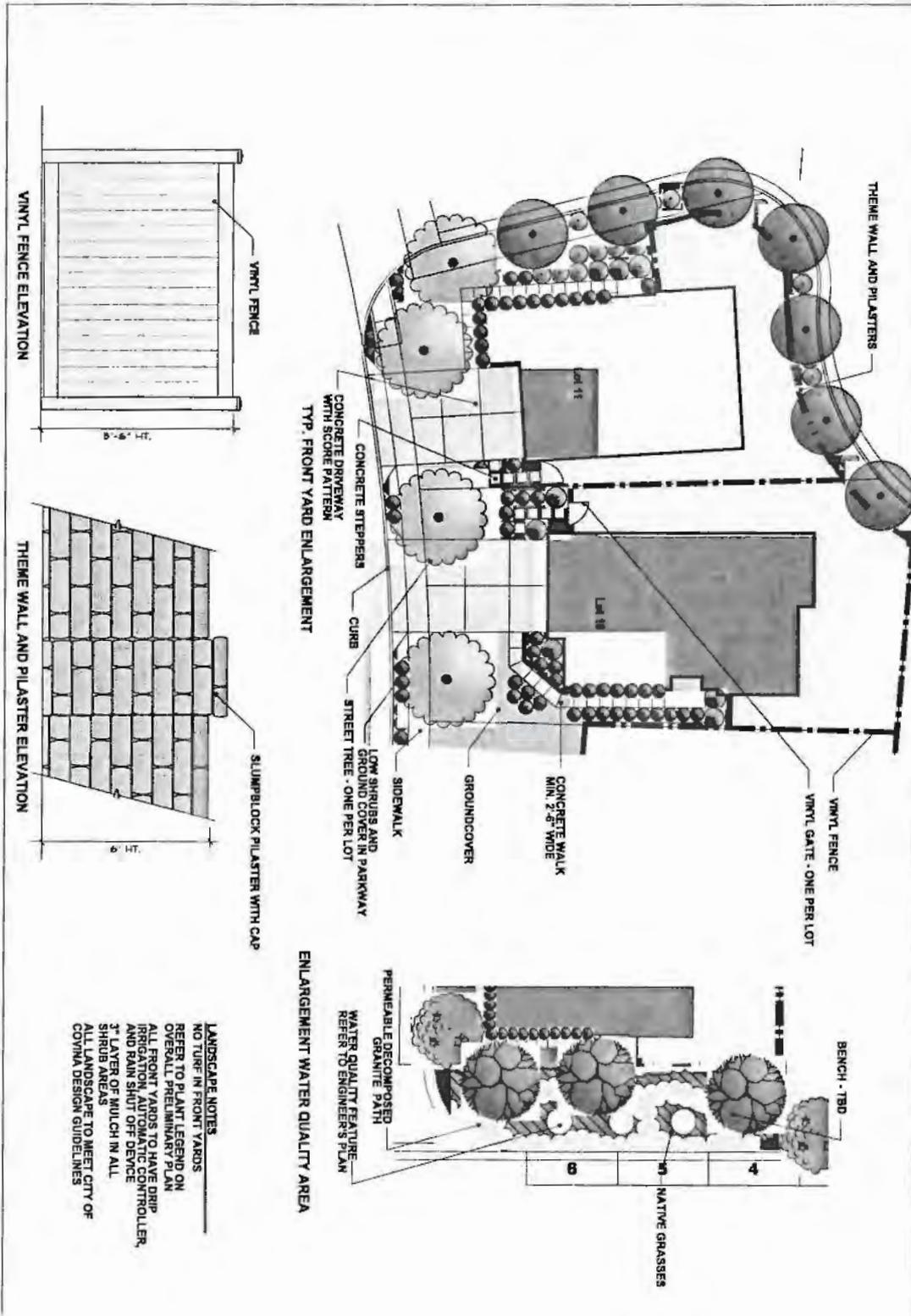
The private open space includes private backyard and front yard areas for each single-family home. As noted on Figure 8, Overall Preliminary Landscape Plan, the Proposed Project will have enhanced vehicular paving (stamped decorative concrete) at the entry, as well as an articulated masonry wall at the perimeter of the project bordering the new park. As shown in Figure 8, Overall Preliminary Landscape Plan, the project will have landmark landscaping at the main entry on Kidder Avenue. Vinyl privacy fencing will be installed between the residential units. Private open space for the homes would range from 1,847 square feet to 3,649 square feet with an average of 2,163 square feet of private open space for each home. Figure 9, Neighborhood Private Open Space, reflects the planned improvements for both the front and rear yard areas of the new homes in the neighborhood. The front yard areas would consist of scored concrete driveways and concrete steppers, as well as ground cover, low shrubs and trees on each lot. Private rear yard areas would be improved by the new homeowner. Figure 9, Neighborhood Private Open Space, also reflects an on-site drainage retention area within the new neighborhood that will be planted with native grasses, permeable decomposed granite path and a small sitting area. The overall open space for the project (including the 2-acre park land) would be 223,449 square feet, which includes both common and private open space, would be approximately 60.2% of the project land area, resulting in approximately 3,546 square feet of open space per unit.

As shown in Figure 8, Overall Preliminary Landscape Plan, a full complement of new landscaping will be installed as part of the project, including both traditional and drought-tolerant species. These drought-tolerant planting will include trees, shrubs, ground cover and grass. Plantings will include parkway areas along the perimeter of the project and front yards for the new homes, as well as the main entry to the site on Kidder Avenue.

Figure 8 Overall Preliminary Landscape Plan



Figure 9 Neighborhood Private Open Space



SECTION 3: Infrastructure

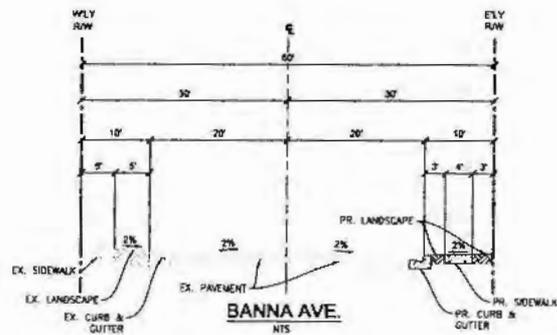
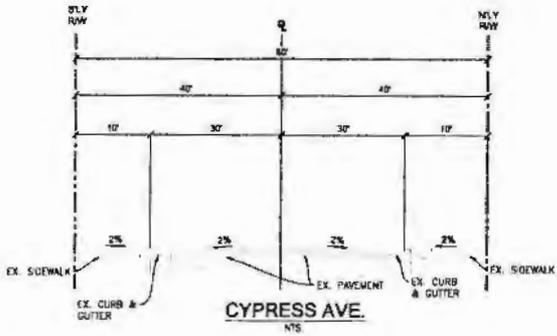
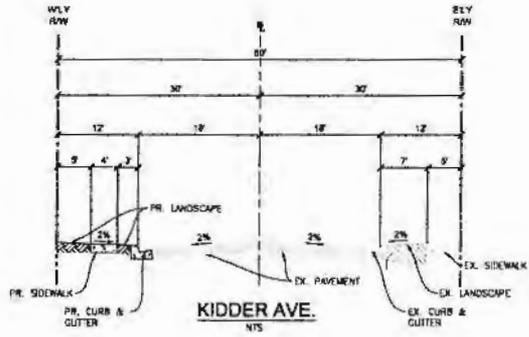
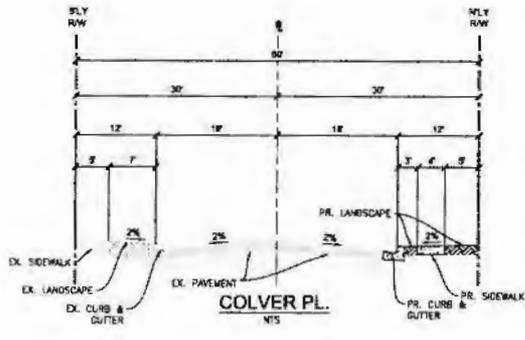
Grading, Drainage and Sewer

The site is presently developed and is connected to the City's sewer and storm water system. Currently, drainage sheet flows across the paved surfaces towards storm water drains located throughout the project site and in the public right of way. Storm water from roofs, landscaped areas, and paved areas is directed to on-site concrete swales, which drain to on-site storm water drains and to the public right of way. The proposed site drainage and water quality design would drain westerly and southwesterly as it currently does. Storm water management would include a "dry well system" installed throughout the site that would reduce the volume of runoff into the City's existing storm water system. The dry well system would retain and infiltrate surface runoff generated from the homes, private streets, and parking areas, and would remove potential pollutants as water is absorbed into the subsurface soil. Figure 9, Neighborhood Private Open Space, also reflects an on site drainage retention area that will be planted with native grasses, permeable decomposed granite path and a small sitting area. Figure 10 11 Conceptual Grading Plan and Figure 12 Conceptual Utility Plan reflects the infrastructure and utility layout for the site at build out.

Streets

As indicated above and on Figure 4 Site Plan and Figure 6 Tentative Tract Map, access to the project site would be provided on Kidder Avenue and Banna Avenue. Both access locations are proposed to be un-signalized intersections with full-access, and no gate control. On-site vehicular circulation is proposed to be one loop drive aisle with two entry street segments from Banna and Kidder Avenues. The interior private streets would vary from 26 feet to 36 feet in width to accommodate on-street parking on either one or both sides of portions of the street loop. Each of the new lots within the development would take direct access from the new street segments and street loop, while the lots on the perimeter would take access from the existing streets.

Figure 10 Street Cross Sections



Domestic Utilities and Sanitation Services

Electrical and communication utilities serving One Charter Oak will be provided underground. As indicated below in Table 2, the existing service providers in the area will provide domestic utility service, emergency and school services for the PCD.

Table 2 Public Service and Utility Providers

Service	Provider
Water	Golden State Water Company
Sewer	City of Covina Public Works
Solid Waste	Athens Services/Covina Disposal
Gas	The Gas Company
Electricity	Southern California Edison
Police	Covina Police Department
Fire	County of Los Angeles Fire Department
School District	Charter Oak Unified School District

Refuse service will be provided to the development by Athens Services/Covina Disposal consistent with surrounding neighborhood. Dual bins for trash and recycle will be provided and picked up on a regular basis according the schedule prescribed by the waste hauler.

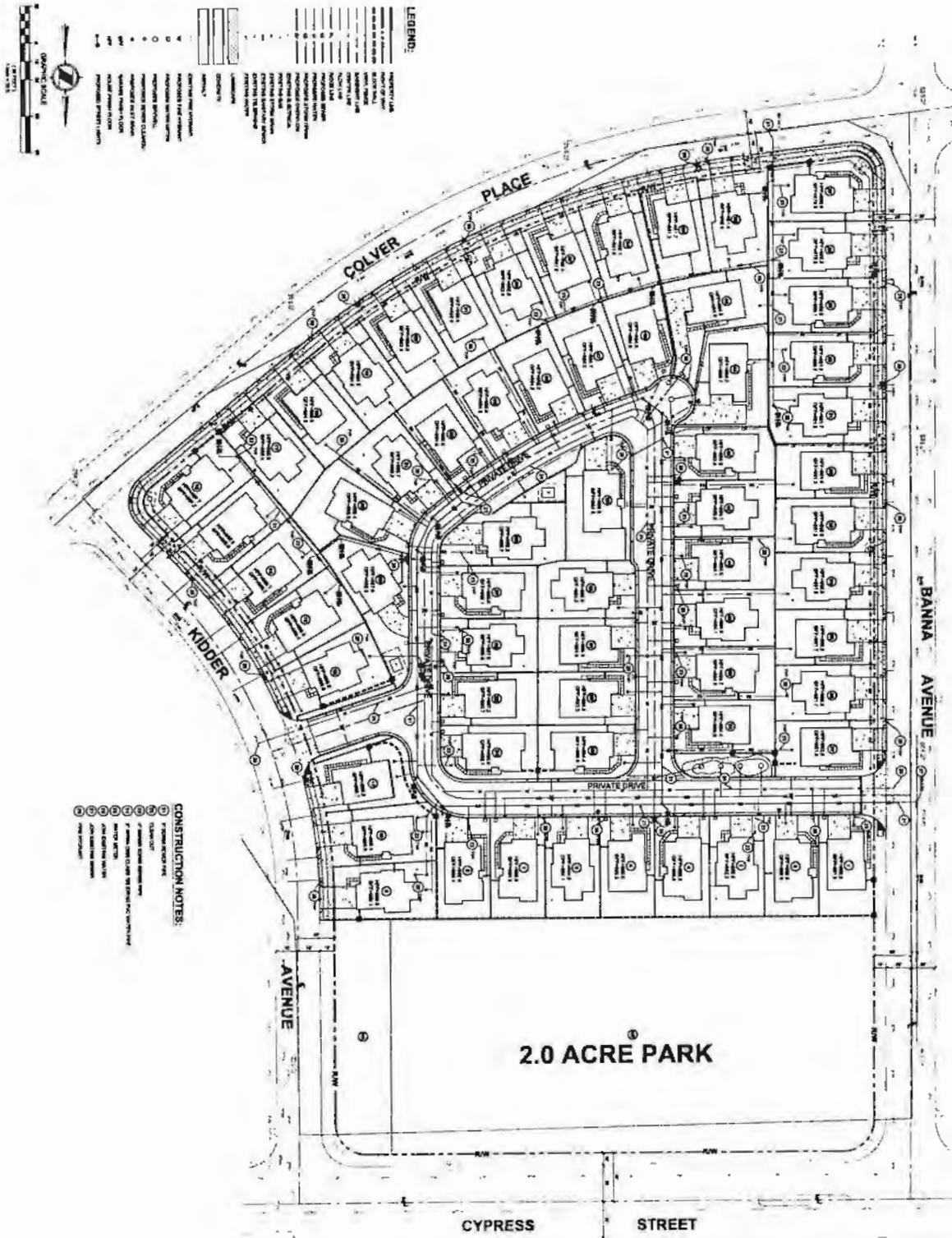
Water Conservation

Given the progression and advancement of the State of California drought conditions and the continued emphasis on water conservation and efficiency, this plan includes Appendix 1 Water Conservation and Efficiency Plan, in accordance with Covina Municipal Code Chapter 17.82. This plan will apply to the entire project, including both public and private spaces. This plan will include several exterior water conservation measures, including: Smart Irrigation Controllers, Central Computer Irrigation Controllers for Common Areas, Soil Moisture Sensor Systems, Large Rotary Nozzles, bubblers, micro-sprays and drip irrigation. Each resident will have the option to direct rainwater from the roof into a rain barrel or shrub bed. Interior water conservation strategies will include low flow fixtures (faucets) and appliances (tank toilets and clothes washers). This plan will be implemented in accordance with Section 17.82.050 of the Covina Municipal Code and California Government Code Section 66473.7.

Maintenance

The developer will establish the CC&Rs which will include provisions for ongoing maintenance of all common areas on site and within the public parkway, as well as policies for electing a Board of Directors and amending or updating the CC&Rs in accordance with and consistent with applicable state laws and the City of Covina ordinances. The common areas include the easement areas along portions of the public right-of-way along Colver Place, Kidder Avenue and Banna Avenue. Five feet will be provided along the property frontages on Colver Place and Kidder Avenue, with three feet provided along the property frontages on Banna Avenue. The HOA will be required to maintain these areas and ensure consistency with the adjacent front yard areas.

Figure 12 Conceptual Utility Plans



SECTION 4: Development Standards and Architectural Design

Zoning and Development Standards

When a proposal for a new development is made and it is desirable to apply regulations more flexible than those applicable to other zones, a planned community development district can be established. These districts may provide diversification in location of structure, uses and other site qualities while ensuring compatibility with uses and future developments on the surrounding areas as indicated within the general plan.

The planned community development will allow for single-family residential uses implementing a "small-lot" subdivision, which would include internal network of private streets and the creation of a new neighborhood park. Permitted land uses would be limited to single family dwellings and typical Accessory buildings and uses, including private garage, private carports, recreation rooms, patio covers, trellises, animal keeping, etc. so long as the use is primarily for the owners of dwellings. The intent of these development standards is to create a small lot subdivision with a detached single-family housing product consistent with the existing surrounding single-family neighborhoods. Consistent with these surrounding neighborhoods, this planned community development would prohibit commercial and industrial uses, as defined by the Covina Municipal Code, as well as any other use prohibited in any other residential zone as indicated by the Covina Municipal Code.

This PCD document will serve as the Zoning and Development standards for the One Charter Oak community. The purpose and intent of these zoning and development standards is to act as the controlling mechanism of the implementation and development of the project site. Implementation of standards set forth in this section will ensure that development of the site proceeds in a coordinated manner consistent with the goals and objectives of this plan and the City of Covina General Plan. Future review of private development (minor additions to structures, repair and replacement of structures, etc.) will be conducted in a manner consistent with this section.

The City's Zoning and Subdivision Ordinances shall remain in effect on all areas of this project, except as specifically indicated in the design, development standards and exhibits contained herein. In any areas of conflict between the Zoning Ordinance and these provisions, this plan shall control. Where this development plan does not address certain standards or provisions, either explicitly or by reference, the Zoning Ordinance shall control.

Any future amendments to the City's Zoning Ordinance, which are not addressed by this plan, shall also apply to this plan area as applicable.

Comparison of R-1-7500 standards to PCD

The applicable Zoning and Development standards are attached in Appendix 1 Zoning and Development Standards RD (PCD). Although the standards are drawn from the PCD Section of the CMC, One Charter Oak is more consistent in character with a single family neighborhood. Therefore, Table 3 below reflects a summary overview and comparison of the R-1-7500 Development Standards and the One Charter Oak Development Standards (RD (PCD)).

Table 3 Comparison of R-1-7500 Standards to PCD

Development Standard	R-1-7500 Residential Zone, Single Family Requirement	Planned Community Development - One Charter Oak Proposed
Minimum Lot Area	7,500 square feet	Minimum 3,200 sf; Range 3,414-5,227 square feet (average usable lot size of 4,011 square feet)
Lot Dimensions - Interior Lot Width	Minimum Width of 60 feet	Minimum 40'; Range of 40 - 51 feet in width
Lot Dimensions - Corner Lot Width	Minimum Width of 67.5 feet	Minimum 40'; Range of 40 - 51 feet in width
Lot Dimensions - Depth	Minimum depth of 100 feet	Minimum 80'; Range of 80-86 feet (80-91 feet of usable lot depth)
Dwelling Units Per Lot	Maximum of 1 dwelling unit per lot	Maximum of 1 dwelling unit per lot
Maximum Building Height	2 ½ stories or 35 feet	2 stories/ 27' maximum
Yards - General	Minimum 50 feet from Railroad ROW	200 feet from Railroad ROW
Front Yard	Minimum 25 feet	Minimum 13'; Range of 13'-23' from back of sidewalk
Side Yard	Minimum 5 feet for one-story Minimum 10 feet for two-story	Minimum of 5'; Range of 5'-15'
Side Yard on Street Side Corner Lot	Minimum 12.5 feet	5'-14'
Rear Yard	Minimum 25 feet	11'-23'
Fences and Walls - Design	Be architecturally compatible in design and material to main structures	Both CMU block, split faced block and Vinyl material
Off street parking - Single Family Residential	2 spaces per unit within Garage	2 spaces per unit within garage 2 spaces per unit in driveway
Off street parking dimensions - covered spaces	Not less than 10 feet by 20 feet for each stall	Not less than 10 feet by 20 feet for each stall

Off street parking dimensions - open spaces	Not less than 9 feet by 19 feet	Not less than 9 feet by 16 feet
Floor Area of Dwelling Unit - Single Family	Minimum of 1,100 square feet	2,095-2,492 square feet provided
Maximum Land Coverage	35% of total land or parcel area	Range of 30.2% - 46.4% for individual lots; average coverage for project 39.6%.
Minimum Building Separation	NA	10'

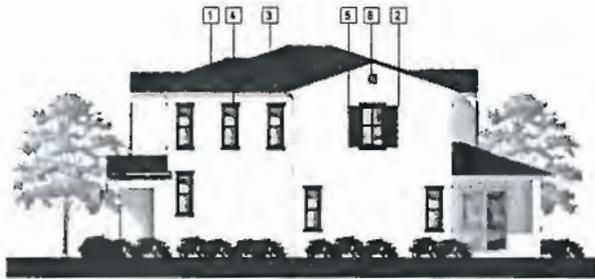
Accessory Structures

The HOA will establish a set of rules and regulations (CC&Rs), governing the construction and establishment of accessory structures typical of an established single-family neighborhood (pools, spas, patio covers, trellis structures, etc.). The CC&Rs will identify the limitations and allowances for such structures, including, but not limited to: placement, location, size, materials, height, colors, and any other element deemed necessary to protect the health, safety, welfare and character of the community. The CC&Rs shall be reviewed and approved by the City prior to recordation. The recorded document shall be submitted to City and be kept on file. Prior to construction and/or issuance of permits or other approvals by the City for any such accessory structures, the HOA shall approve the design of any proposal prior to submittal to the City for review and approval and evidence shall be submitted to the City prior to issuance of permits.

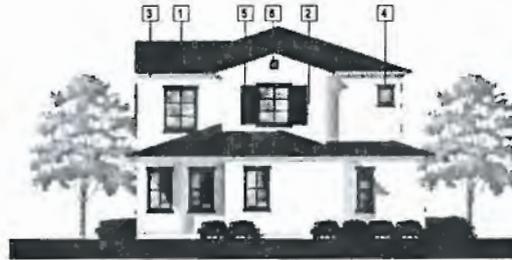
Architectural Style, Building Design and Materials

One of the primary goals of this plan is to ensure that the One Charter Oak community is developed in a consistent and high quality manner. Building materials that enhance the aesthetic appeal of the structures and convey an inviting and pleasant environment will be utilized. As indicated in Figure 13 Elevation Plans, complementary architectural styles for the site will consist of Spanish, Tuscan, Monterey and Ranch vernaculars. All homes will have stucco exteriors and tile roofing, and would include design elements respective of each architectural style. These accent elements would include decorative shutters, gable accents, decorative trims, wood siding, iron grilles, stone veneers, decorative rafters, and ornamental ironwork.

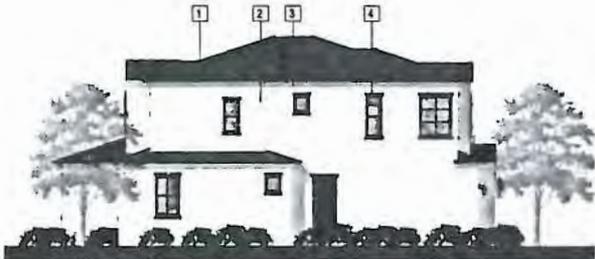
Figure 13 Elevation Plans



RIGHT ELEVATION



REAR ELEVATION

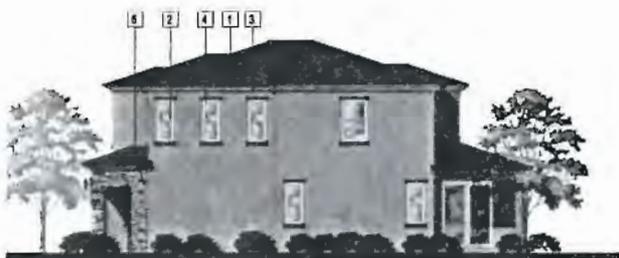


LEFT ELEVATION

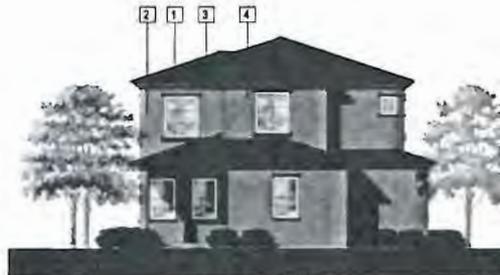


FRONT ELEVATION

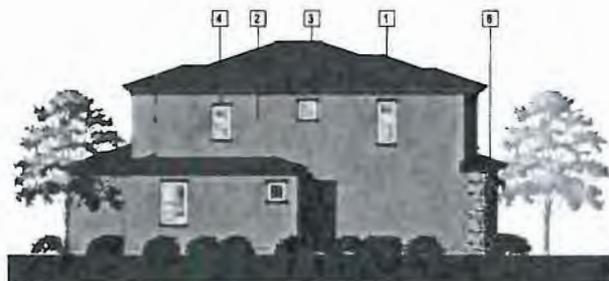
- Material Schedule**
- 1 Concrete T-Tile Roofing
 - 2 Sand Finish Stucco
 - 3 Shiplap Finish Cornice
 - 4 Stucco Of 2X Foam Trim
 - 5 Orange Granite
 - 6 Decorative Cable Access
 - 7 Decorative Metal Postwork



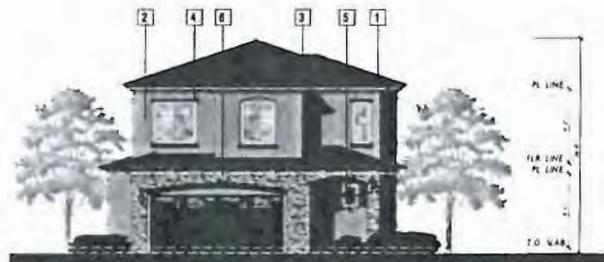
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



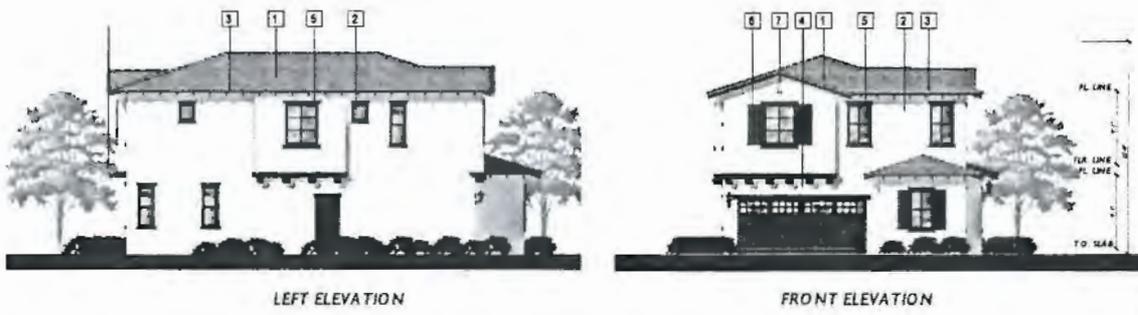
FRONT ELEVATION

- Material Schedule**
- 1 Concrete T-Tile Roofing
 - 2 Sand Finish Stucco
 - 3 Shiplap Finish Cornice
 - 4 Stucco Of 2X Foam Trim
 - 5 Decorative Iron Grille
 - 6 Stone Veneer

Figure 13 Elevation Plans



- Material Schedule:**
- 1 Concrete Shale 1 1/2" Hardie
 - 2 Sand Finish Sides
 - 3 2 1/2" Roman Arch Trim
 - 4 Decorative Foam Trim
 - 5 Shutter 0/1 1/4" Foam Trim
 - 6 Decorative Shutters
 - 7 Decorative Gable Accent



- Material Schedule:**
- 1 Concrete 1 1/2" Hardie
 - 2 Sand Finish Sides
 - 3 Shutter 0/1 1/4" Foam Trim
 - 4 Stone Veneer
 - 5 Decorative Shutter Painted
 - 6 Stone 0/1 1/4" Foam Trim
 - 7 Decorative Iron Gate

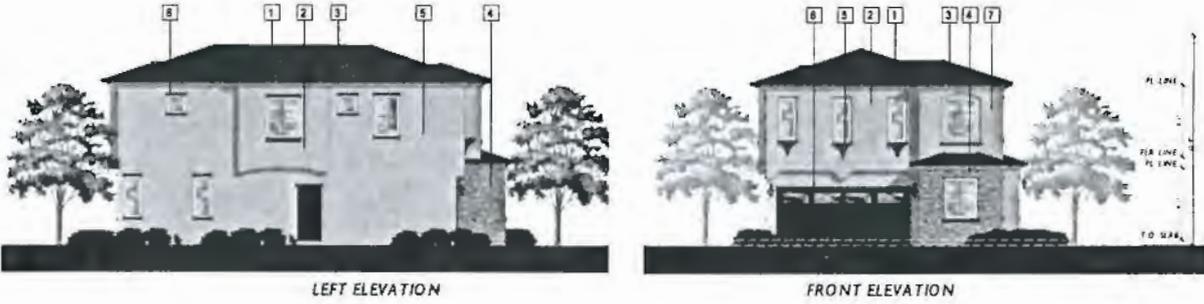
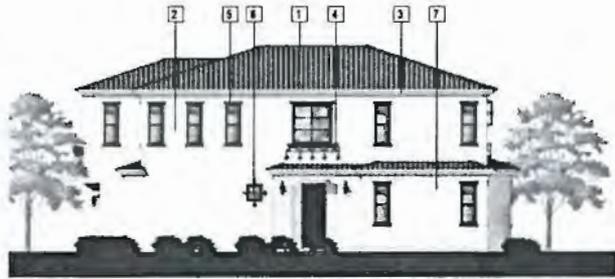


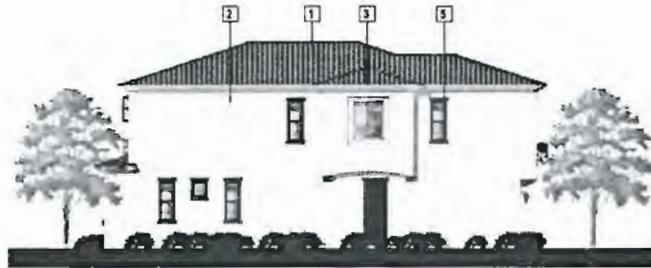
Figure 13 Elevation Plans



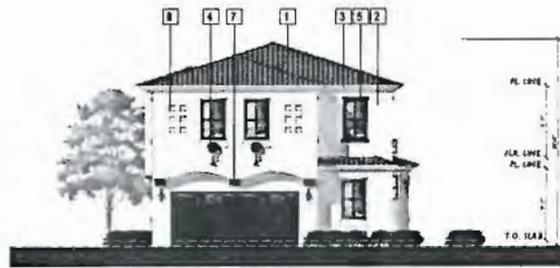
RIGHT ELEVATION



REAR ELEVATION

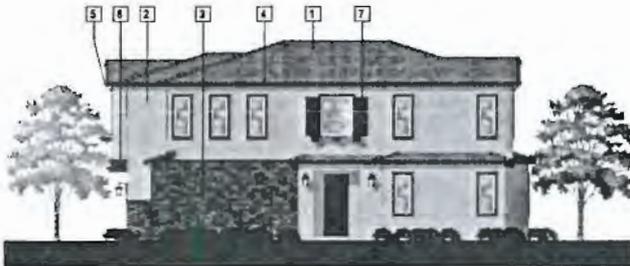


LEFT ELEVATION

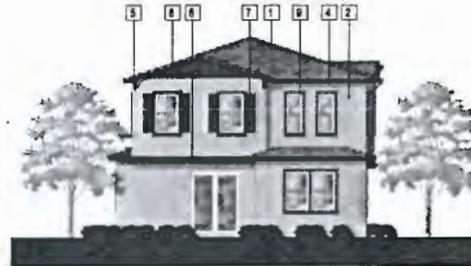


FRONT ELEVATION

- Material Schedule**
- 1 Concrete T & G Roofing
 - 2 Sand Finish Siding
 - 3 Hardwood Frame Casings
 - 4 Decorative Metal Porches
 - 5 Insured 2x 2x 4 Fram Trim
 - 6 Decorative Iron Grille
 - 7 Decorative Cast-Iron
 - 8 Shutters

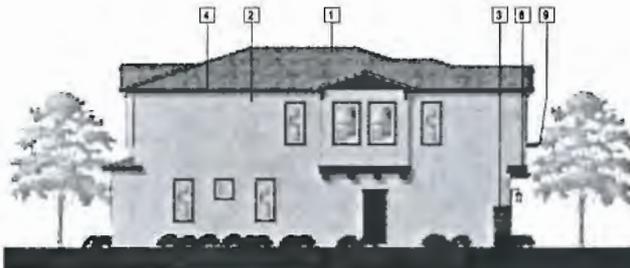


RIGHT ELEVATION

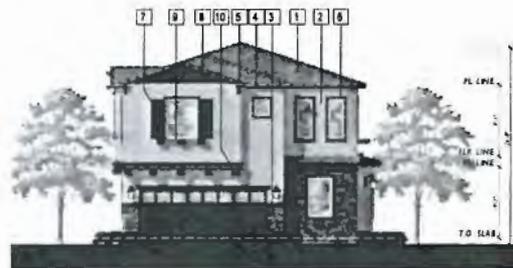


REAR ELEVATION

- Material Schedule**
- 1 Concrete Shale T & G Roofing
 - 2 Sand Finish Siding
 - 3 Brick Siding
 - 4 2x6 Wood Porch
 - 5 Decorative Wood Ornamentation
 - 6 Stone or 2x 2x 4 Fram Trim
 - 7 Decorative Shutters
 - 8 Hardwood Frame Casings
 - 9 Wood Porches
 - 10 Decorative Cast-Iron



LEFT ELEVATION



FRONT ELEVATION

Zoning and Implementation Procedures

This chapter presents a recommended approach for achieving desired public and private improvements within the Planned Community Development. The recommended approach presents major implementation steps and identifies key actions and responsible parties.

Responsibility

The Director shall be responsible for administering the provisions of the PCD in accordance with the provisions of the City of Covina General Plan, and the City of Covina Municipal Code (CMC).

Applicability and Conformity with Planned Community Development

The provisions of this Planned Community Development (PCD) shall apply to all properties included in the PCD area. No construction, modification, addition, placement or installation of any building or structure shall occur, nor shall any new use commence on any lot, on or after the effective date of this PCD, except in conformity with the provisions of this PCD.

The provisions of this PCD shall not apply to development projects for which a complete application has been received by the Community Development Department prior to the effective date of this PCD. However, applicants for such projects may elect to comply with the provisions herein in lieu of the former provisions. Applications for projects whose entitlements and/or permits have expired or were denied are not entitled to the benefit of this section.

The PCD does not convey any rights not otherwise granted under the provisions and procedures contained in the Zoning Code and other applicable ordinances, except as specifically provided herein. Any issue not specifically covered in the PCD shall be subject to the Zoning Code and/or Municipal Code, or to interpretation by the Community Development Director if not specifically covered in the City's existing regulations.

Land Uses Not Listed

All uses not specifically listed in this PCD are prohibited. However, the Director may determine that a use not listed is comparable to a listed use and, once so determined, it shall be treated in the same manner as the listed use. Such determination may be appealed to the Planning Commission, and a Planning Commission determination may be appealed to the City Council. A determination by the City Council is final. A list of comparable use determinations shall be kept on file in the Planning Division.

Development Regulations and Standards Not Listed

Any development regulation or standard not specifically covered in this PCD shall be subject to CMC Title 17 (Zoning Code). In cases where development regulations and standards set forth in this PCD are inconsistent with CMC Title 17 (Zoning Code), the PCD shall prevail.

The provisions of this PCD shall also prevail where there is an inconsistency between this PCD and other City ordinances, rules and regulations. However, the provisions of this PCD will not prevail should there be an inconsistency between the PCD and the City's General Plan. Any development regulation and standard not addressed in this PCD shall be subject to the City's adopted regulations in place at the time of the individual application.

Interpretation

The Director shall interpret the phrases "other similar uses," "uses customarily incidental to," etc., as used in this PCD. In interpreting and applying the provisions of this PCD, such provisions will be held to be the minimum standards for the promotion of the public health, safety, comfort, convenience and general welfare. Whenever there is any question regarding the interpretation of the provisions of this PCD or the application of those provisions to any individual case or situation, the Director shall interpret the intent of this PCD. Such determination may be appealed to the Planning Commission, and a Planning Commission determination may be appealed to the City Council. A determination by the City Council is final.

Severability

If any section, subsection, sentence, clause, or phrase of this PCD, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Plan.

Approval Process

Approval and implementation of this PCD shall be subject to procedures and findings identified in Section 17.28.530 Site Plan and Architectural Review, and Site Plan provisions identified in Chapter 17.64 of the CMC. All figures contained in this PCD will be considered as fulfilling the requirements of the above-referenced section. Prior to construction, precise plans for grading, landscaping, architecture and construction, shall be submitted to the City of Covina for review to determine conformance with this PCD. Precise plans to be submitted may vary from this plan and be allowed a 10% modification related to height, size and area dimensions related to both structures, lots, parking, landscaped/open spaces areas and minor changes to materials, colors and elevation design. This flexibility is

necessary give unforeseen circumstances that may be identified in the field during construction or changes to market conditions during the project phasing and construction.

Implementing Ordinances and Resolutions

RESOLUTION NO. 15-XXXX authorizing General Plan Amendment GPA 15-001, to change the General Plan land use map designation from "School" to "Planned Community Development" for property at 800 North Banna Avenue.

RESOLUTION NO. 15-XXXX authorizing Development Agreement DA 15-001, to implement the proposed project under the terms, conditions and regulations currently in effect and ensure the timely execution of the project in the best public interest.

RESOLUTION NO. 15-XXXX authorizing Zone Change ZCH 15-001, amending the official zoning map of the City by changing the zoning designation from "R-1-7,500 Single Family" to "RD Multiple Family" for property at 800 North Banna Avenue.

RESOLUTION NO. 15-XXXX authorizing Planned Community Development Overlay Zone PCD 15-001 on the official zoning map of the City for property at 800 North Banna Avenue, establishing special zoning standards for the "One Charter Oak" Project.

RESOLUTION NO. 15-XXXX authorizing Tentative Tract Map 73455, to establish a 71-lot subdivision for the purposes of a residential development, two-acre park and associated private streets (63 single family residential lots, 2 park lots and 6 lettered lots for common areas).

RESOLUTION NO. 15-XXXX certifying a Mitigated Negative Declaration and approving a Mitigation Monitoring Plan for the above referenced entitlements.

Appendix 1
Water Conservation and Efficiency Plan

**Planned Community Development
One Charter Oak
City of Covina**



**CITY OF COVINA
125 East College Street
Covina, CA 91723**

**APPENDIX 1:
WATER CONSERVATION AND EFFICIENCY PLAN**

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RESIDENTIAL PLUMBING FIXTURES

EDUCATIONAL MATERIALS

1.0 Purpose and Applicability

1.1 Purpose

- a. The general purpose of the Water Conservation and Efficiency Plan is to:
 1. Establish provisions for water management practices and water waste prevention;
 2. Use water efficiently without waste and reduce water use to the lowest practical amount;
 3. Promote the aesthetic values and benefits of landscapes while recognizing the need to invest in water and other resources as efficiently as possible; and,
 4. Establish a structure for planning, designing, installing, and maintaining and managing water efficient landscapes in new construction and rehabilitated projects.
- b. The primary purpose of the Water Conservation and Efficiency Plan is to provide procedural and design guidance for the implementation of plumbing fixtures and landscape installation or future rehabilitation/repair of both in the One Charter Oak Community.
- c. This document is also intended for use and reference by City staff in verifying compliance with the Water Conservation and Efficiency Plan.

1.2 Applicability

- a. The Water Conservation and Efficiency Plan applies to initial construction and installation of all plumbing fixtures and facilities, as well as common and private landscaped areas of the One Charter Oak Community.

2.0 Landscape Design Plan

A landscape design plan shall meet the following design criteria and be submitted as part of the Landscape Documentation Package.

2.1 Plant Material

- a. Any plant may be selected for the landscaped area; however, to encourage the efficient use of water, the following is highly recommended:

Protection and preservation of non-invasive water efficient plant species and water-conserving turf;

Appropriate spacing of plant materials;

Selection of water efficient plant species and water-conserving turf;

Selection of plants based on disease and pest resistance; and

Selection of trees based on applicable City and local tree ordinances or tree shading guidelines.

- b. Each hydrozone shall have plant materials with similar water use.
- c. Plants shall be selected and planted appropriately based upon their adaptability to the climatic, geologic, and topographical conditions of the project site. To encourage the efficient use of water, the following is highly recommended for inclusion in the landscape design plan:
 - 1. Recognize the horticultural attributes of plants (i.e., mature plant size, invasive surface roots) to minimize damage to property or infrastructure (e.g., buildings, sidewalks, and power lines);
 - 2. Recognize that native plants do best in well draining soil with overhead spray irrigation to follow natural rain patterns. In the summer, native plants go dormant so they will require less water; and
 - 3. Consider the solar orientation for plant placement to maximize summer shade and winter solar gain.
- d. The use of invasive plant species and/or noxious plant species is strongly discouraged.
- e. Within common landscaped areas serving the development, the following shall apply:
 - 1. Recirculating water systems shall be used for water features.
 - 2. Where available and consistent with public health guidelines, recycled water shall be used for irrigation and as a source for decorative water features.
 - 3. The surface area of a water feature shall be included in the high water use hydrozone area of the water budget calculation.
 - 4. A minimum two inch (2") layer of mulch should be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is not practical.
 - 5. Soil amendments should be incorporated as recommended by the landscape professional.
- f. The landscape design plan, at a minimum, shall:

1. Delineate and label each hydrozone by number, letter, or other method;
2. Identify each hydrozone as low, moderate, high water, or mixed water use. Temporarily irrigate areas of the landscaped area shall be included in the low water use hydrozone for the water budget calculation;
3. Identify recreational areas;
4. Identify areas irrigated with recycled water;
5. Identify type of mulch and application depth;
6. Identify soil amendments, type, and quantity;
7. Identify type and surface area of water features;
8. Identify hardscapes (pervious and non-pervious);
9. Identify location and installation details of any applicable storm water best management practices that encourage on-site retention and infiltration of storm water. Storm water best management practices are encouraged in the landscape design plan and examples include, but are not limited to:
 - a) Infiltration beds, swales, and basins that allow water to collect and soak into the ground;
10. Identify any applicable rain harvesting or catchment technologies (e.g., rain gardens, cisterns, etc.);
11. Plan shall include the signature of a California-licensed landscape professional.

3.0 Irrigation Design Plan

For the efficient use of water, an irrigation system shall meet all the requirements listed in this section and the manufacturer's recommendations. The irrigation system and its related components shall be planned and designed to allow for proper installation, management, and maintenance. An irrigation design plan meeting the following design criteria shall be submitted as part of the Landscape Documentation Package.

3.1 System

- a. Dedicated landscape water meters are required on landscaped areas 2,500 square feet and greater to facilitate water management.
- b. Automatic irrigation controllers utilizing either evapotranspiration or soil moisture sensor data are required for irrigation scheduling in all irrigation systems.
- c. Sensors (rain, freeze, wind, etc.), either integral or auxiliary, that suspend or alter irrigation

operation during unfavorable weather conditions are required on all irrigation systems, as appropriate for local climatic conditions. Irrigation should be avoided during windy or freezing weather or during rain.

- d. Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) are required as close as possible to the point of connection of the water supply to minimize water loss in case of an emergency (such as a main line break) or routine repair.
- e. Backflow prevention devices are required to protect the water supply from contamination by the irrigation system.
- f. High flow sensors that detect and report high flow conditions created by system damage or malfunction are recommended.
- g. The irrigation system shall be designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas, such as adjacent property, non-irrigated areas, hardscapes, roadways, or structures.
- h. Relevant information from the soil management plan, such as soil type and infiltration rate, shall be utilized when designing irrigation systems.
- i. The design of the irrigation system shall conform to the hydrozones of the landscape design plan.
- j. Unless otherwise indicated by the irrigation equipment manufacturer's specifications or demonstrated by the project applicant, the irrigation efficiency of the irrigation heads used within each hydrozone shall be assumed to be: Pop-up stream rotator heads = 75%; Stream rotor heads = 75%; Microspray = 75%; Bubbler = 80%; Drip emitter = 85%; Subsurface irrigation = 90%.
- k. In mulched planting areas, the use of low volume irrigation is required to maximize water infiltration into the root zone.
- l. Sprinkler heads and other emission devices shall have matched precipitation rates, unless otherwise directed by the manufacturer's recommendations.
- m. Head to head coverage is recommended. However, sprinkler spacing shall be designed to achieve the highest possible distribution uniformity using the manufacturer's recommendations.
- n. Swing joints or other riser-protection components are required on all risers adjacent to high traffic areas to minimize risk of damage.
- o. Check valves or anti-drain valves are required for all irrigation systems.
- p. Narrow or irregularly shaped areas, including turf, less than eight (8) feet in width in any direction shall be irrigated with subsurface irrigation or a low volume irrigation system.
- q. Overhead irrigation shall not be permitted within 24 inches of any non-permeable surface. Allowable irrigation within the setback from non-permeable surfaces may include drip, drip

line, or other low flow non-spray technology. The setback area may be planted or unplanted. The surfacing of the setback may be mulch, gravel, or other porous material.

3.2 Hydrozone

- a. Each valve shall irrigate a hydrozone with similar site, slope, sun exposure, soil conditions, and plant materials with similar water use.
- b. Sprinkler heads and other emission devices shall be selected based on what is appropriate for the plant type within that hydrozone.
- c. Where appropriate, trees shall be placed on separate valves from shrubs, groundcovers, and turf.

3.3 Letter of Completion

- a. Landscape project installation shall not proceed until the Landscape Documentation Package has been submitted to and accepted by the City and all required permits have been issued.
- b. Prior to the Final Inspection and Permit Closure, a Landscape Installation Letter of Completion shall be submitted to the City, which includes: (i) certification by a landscape professional that the landscape project has been installed per the approved Landscape Documentation Package; and (ii) the following statement:
"The landscaping has been installed in substantial conformance to the design plans, and complies with the provisions of the Water Conservation and Efficiency Plan for the efficient use of water in the landscape."

4.0 Residential Plumbing Fixtures

Although up to 70% of residential water use is outside the home, this Plan includes the installation of the following fixtures to maximize on-going water efficiency and conservation for the usable life of the fixtures. Each home within One Charter Oak will have the following fixtures installed:

- a. High Efficiency Toilets
- b. Low flow faucets

5.0 Educational Materials

As part of the sale and promotion of the One Charter Oak Community, each new resident will receive educational material related to water conservation and water efficiency. These documents will be obtained from the Metropolitan Water District of Southern California Be Water Wise website:

http://bewaterwise.com/Conservation_Materials.html

Appendix 2
Economic Feasibility, School Impact, Financial Capability and
Traffic Studies

**Economic Feasibility Study
One Charter Oak Planned Community Development
(PCD)
City of Covina**



**CITY OF COVINA
125 East College Street
Covina, CA 91723**

Prepared for:
City of Covina Community Development Department
Brian K. Lee, Director

December 8, 2015

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SECTION 1: Introduction

The projected recurring fiscal impacts, estimated major one-time City development impact fees and projected economic impacts for the proposed One Charter Oak Planned Community Development (PCD) in the City of Covina are presented in this report. The fiscal impact analysis projects annual recurring revenues to the City's General Fund. Estimated major one-time City development fees include impact and development review fees, and the conveyance of almost two acres of land to the City for development of a neighborhood park. Projected economic impacts include jobs and spending, including labor income, generated by construction of the project. All impacts are projected in constant 2015 dollars, with no adjustment for future inflation.

Background/ Project Description

The Proposed Project (One Charter Oak Planned Community Development) is located at 800 N. Banna Avenue, on the southeast corner of Banna Avenue and Cypress Street (Figure 1 Project Location and Boundary Map). The 8.15-acre project site is bounded by Cypress Street to the north, Colver Place to the south, Kidder Avenue to the east, and Banna Avenue to the west. Regional access to the project site is provided via Interstate 10 (I-10) to the south and State Route 57 (SR-57) to the east. The project site is located within a residential area of the City and was originally developed as a public elementary school (Banna Elementary). The project site has not been used as an elementary school for approximately 25 years. Since the current property owner is a public agency there are no property taxes paid.

The project will include the demolition of the existing structures located on the project site and construction 63 detached single-family homes at a density of approximately 7.7 units per acre, as well as convey to the City of Covina land for a neighborhood park. The current parcel is 8.15 acres in size, of which approximately two acres will be conveyed to the City for a public park. The remaining acreage will be developed with the single-family homes and private streets.

Approach

The following assumptions are used in the preparation of this fiscal and economic analysis:

- Population, household size and median household income are obtained from the US Census, 2009-2013 for the City of Covina (Census.gov).
- Median household income was obtained from the City of Covina Budget, fiscal year 2014-2015.
- Major one-time City development impact fees are based on current City fee schedules.
- School development impact fees are based on discussions with One Charter Oak School District.
- Property tax rate and revenue projections are based information obtained from the City of Covina Consolidated Annual Financial Report, June 30, 2014.
- Community Facility District annual property tax payments are based on information provided in the City of Covina Community Facilities District FY14-15 Handout.
- The fiscal and economic analysis projects impacts at build out of the proposed project in

constant 2015 dollars, with no adjustment for future inflation.

SECTION 2: Fiscal and Economic Impacts

Projected Property Tax Revenues after Build Out

Units and Population

Based on US Census data, the net increase of 63 residential units at the site will yield an increase of approximately 197 to the population (based on average of 3.12 persons per house hold).

Projected Property Tax Revenues after Build Out

Current tax assessment for the property within the City of Covina is 1.14%, with 1.00% as the baseline levy. The City of Covina's share of this levy is approximately 15.4%. For every \$100 of tax assessed, the City of Covina receives approximately \$15.40.

Net New Assessed Valuation

Net new assessed valuation of the project is estimated at \$45,360,000 after build out and sale of all units to be developed as part of the One Charter Oak PCD. The new valuation is based on an average assessed value per home of \$720,000.

Projected Annual General Fund Property Tax

The one percent baseline property tax increment of 1.00% after build out of the One Charter Oak PCD is projected at \$450,360. Property tax to the General Fund is projected at 15.40% percent of the basic one percent property tax levy, which is the average allocation to the City General Fund for the tax rate area (TRA) in which the project site is located. Based on the projected property tax increment, the City General Fund is projected to receive approximately \$70,000 annually in net property tax revenues after build out.

Community Facilities District

The City of Covina indicates that for any new residential development where new dwelling units are created, annexation to the City's Community Facilities District will be required. Annexation to CFD No. 2007-1 will be conducted at the expense of the developer and in a manner consistent with the Mello-Roos Community Facilities Act of 1982. The 63 new single family residential units will be taxed at a Special Tax rate of \$619.29/unit, resulting in a projected annual Special Tax of approximately \$39,060 for the project.

Sales Tax

Off-site retail sales tax from taxable purchases made by future residents of the proposed project are projected based on the resident's estimated household income and estimated taxable retail purchases made in the City. Annual median household income for the City of Covina is approximately \$67,000. Given the projected sales price of the units at \$700,000, the projected annual income for residents in this community would be approximately 25% of the cost of the home, or \$175,000. Based on the U.S. Bureau of Labor Statistic, *Consumer*

Expenditure Survey, this analysis estimates that the project residents will generate total taxable retail purchases at about 32 percent of gross household income. The fiscal analysis assumes that 50 percent of the retail taxable purchases will be made in the City.

Estimated annual off-site retail sales tax from taxable purchases made by future One Charter Oak PCD residents is projected at \$17,600 after build out. This estimate is based on total household income projected at about \$11.0 million after build out (or 25 percent of residential valuation). At 32 percent of household income, the projected retail taxable purchases made by the future residents of the One Charter Oak PCD are projected at about \$3.52 million after build out. Assuming that 50 percent of the retail taxable purchases will be made in the City, retail taxable sales are estimated at about \$1.76 million. At one percent of the estimated captured taxable sales of about \$1.76 million, off-site sales tax is projected at \$17,600.

Other Taxes and Service Fees

In addition to the taxes above, the City of Covina also assesses a Utility Users Tax and Gas Tax on residents and consumers within the City. There are also service fees associated with various City services that would be available to the future residents of One Charter Oak PCD. Based on US Census data, the net increase of 63 residential units at the site will yield an increase of approximately 197 to the population (based on average of 3.12 persons per house hold). According to the City of Covina Consolidated Annual Financial Report, June 30, 2014, the Utility Users Tax generated \$105.77 per capita revenue annually and Charges for Service generated \$43.57 per capita revenue annually. According to the City of Covina Budget, fiscal year 2014-2015, the Gas Tax generated \$26.33 per capita revenue annually. The approximately 197 new residents at One Charter Oak PCD would generate more than \$11,000 annually in other taxes and services fees to the City of Covina.

Estimated One-Time Development Fees

Major City Development Impact Fees.

Based on review and evaluation of the City of Covina's Fee Schedule, major one-time City development impact fees for the proposed One Charter Oak PCD include development-related fees estimated at approximately \$176,000. These one time fees are expected to cover Engineering, Planning and Building review fees associated with the development of the project,

Based on review and evaluation of the City of Covina's Fee Schedule, major one-time City development impact fees for the proposed One Charter Oak PCD include development-impact fees estimated at approximately \$1,100,000. These one-time fees are expected to cover a portion of the project's impacts on citywide services and off-site public infrastructure (include Traffic, Library, Police, Fire, Sewer, Storm Drain and Park Impact Fees).

School Development Impact Fees.

The proposed One Charter Oak PCD is located in the Charter Oak Unified School District. Based on discussion with school staff, development impact fees are collected at \$2.97 per residential square foot. With a project total of 138,00 square feet, total school impact fees for the proposed project are estimated at \$412,000.

One-Time Investments in Infrastructure

The developer will be investing a substantial amount of time and resources into new and updated infrastructure serving the new community and surrounding neighborhood. Part of this investment includes the conveyance to the City of land for the development of an approximately 2-acre park. In addition, the new community will have enhanced vehicular paving at the entry, as well as an articulated masonry wall at the perimeter of the project bordering the new park. The project will have the main entry on Kidder Avenue. A full complement of new landscaping will be installed as part of the development, including both traditional and drought-tolerant species. These drought-tolerant planting will include trees, shrubs, ground cover and grass. Plantings will include parkway areas along the perimeter of the project and front yards for the new homes, as well as the main entry to the site on Kidder Avenue. The estimated value of these one-time investments in the community is approximately \$2,637,000.

Summary

The total estimated recurring annual fiscal impact of revenue from this project (including Property and Sales Tax, CFD, Other Taxes and Service Fees) would be approximately \$138,000. The total estimated one-time investments (including infrastructure construction, impact fees, permit and development fees) would be approximately \$4,325,000.

SECTION 3: Websites Consulted/References

1. *covinaca.gov*
2. *census.gov*
3. *boe.ca.gov*

School Impact Study
One Charter Oak Planned Community Development
(PCD)
City of Covina



CITY OF COVINA
125 East College Street
Covina, CA 91723

Prepared for:
City of Covina Community Development Department
Brian K. Lee, Director

December 8, 2015

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SCHOOL IMPACTS AND MITIGATION REPORT

The purpose of this report is to provide an assessment of school impacts related to the One Charter Oak project located at 800 N Banna in the City of Covina, CA 91724.

1.0 INTRODUCTION

The following report focuses on public school impacts associated with development of One Charter Oak (Proposed Project). The Proposed Project includes construction of a maximum of 63 residential units with a 2-acre public park. The Proposed Project is currently located within the boundaries of the Charter Oak Unified School District (COUSD). This analysis evaluates available school capacity at COUSD.

2.0 SITE CONDITIONS

The Proposed Project would be served by the COUSD. There are 9 schools in the COUSD: 5 elementary schools (K-6), 1 intermediate school (7-8), 1 comprehensive high school (9-12), 1 alternative high school, and 1 Virtual Academy (K-12). District-wide enrollment for the 2015-2016 school year was 4,817 students with a total school capacity of 6,906. Based on the information available from the California Department of Education Educational Demographics Unit, COUSD had an enrollment of 2,449 students in grades K-6, 712 in grades 7-8 and 1,656 in grades 9-12. When enrollment is compared to school capacity aggregated by grade level, an estimated capacity surplus of approximately 2,089 seats is identified for grades K-12. Table 1 summarizes these school capacity estimates. Enrollment has been relatively stable, decreasing only slightly at a rate of less than one percent per year over the last ten years.

Table 1
Charter Oak Unified School District
Districtwide School Capacity and Enrollment for 2015-2016

School (Grade Level)	School Capacity ¹	Enrollment ²	Available Capacity
Elementary (K-6)	3,715	2,449	1,266
Intermediate (7-8)	1,219	712	507
High School (9-12)	1,972	1,656	316
DISTRICT TOTAL	6,906	4,817	2,089

Existing assigned neighborhood COUSD schools to the project site are Badillo Elementary, Royal Oak Middle School, and Charter Oak High School. Table 2 provides the available capacity at each of these schools based on enrollment figures during the 2015-2016 school year and information provided by COUSD staff. Based on these enrollment figures, there

¹ Existing School Facilities Capacity. Charter Oak Unified School District.

² Enrollment by Grade Level excludes alternative high school and Virtual Academy

are 434 elementary seats available, 507 intermediate seats available and 316 high school seats available.

Table 2
Charter Oak Unified School District
Available Capacity at Existing Schools Assigned to the Proposed Project

School (Grade Level)	School Capacity ³	Enrollment ⁴	Available Capacity
Elementary (K-6)	872	438	434
Intermediate (7-8)	1,219	712	507
High School (9-12)	1,972	1,656	316
DISTRICT TOTAL	4,063	2,806	1,257

3.0 IMPACT ANALYSIS

3.1 Methodology

The methodology used in this analysis assumes that the number of new students generated from the Proposed Project is directly related to the type and amount of the Proposed Project's residential construction within the boundaries of the school district.

Student Generation Rates (SGR, rates)

COUSD has not experienced a significant amount of new residential construction in the last ten years. The available published SGR is based on SGR from Charter Oak Unified School District. This option of using SGR from a neighboring district is allowed by California Government Code Section 65995 and was verified directly with Kathy Perkins of Charter Oak Unified School District.

Table 3
Product Student Generation Rate

School (Grade Level)	Net School Capacity	Enrollment	Student Project Generation	Available Capacity
Elementary (K-6)	1,872	438	32	402
Middle (7-8)	1,219	712	32	475
High School (9-12)	1,972	1,656	13	303

The Proposed Project would include the development of 63 new detached single-family

³ Existing School Facilities Capacity. Charter Oak Unified School District.

⁴ Enrollment by Grade Level excludes alternative high school and Virtual Academy

residential homes on the project site and would generate approximately 32 new elementary and middle school students and 13 new high school students. The number of new students was calculated using a student generation factor of 0.5 students per unit for elementary and middle school and 0.205 students per unit for high school, which were provided by Kathy Perkins, the Chief Business Officer at Charter Oak Unified School District.

The increase in the number of students is not expected to significantly impact school services because there is adequate classroom space available at Badillo Elementary School, Royal Oak Middle School, and Charter Oak High School, and payment of school impact fees as required by Senate Bill 50 render any impacts to be less than significant.

**Financial Capability Report
One Charter Oak Planned Community Development
(PCD)
City of Covina**



**CITY OF COVINA
125 East College Street
Covina, CA 91723**

Prepared for:
City of Covina Community Development Department
Brian K. Lee, Director

December 8, 2015



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Newport Beach, CA 92660

949 945 2750 TEL
www.corient.com

September 29, 2015

Mr. Brian K. Lee
Director, Community Development Department
City of Covina
125 E. College Street
Covina, CA 91723-2199

Dear Mr. Lee,

Corient Capital Partners is an independent wealth management firm based in Newport Beach, California. We advise ultra high net worth individuals and families, non-profit organizations and corporations across the United States.

We have had a 10-year financial relationship with a member of One Charter Oak, LLC with the highest caliber of integrity and an extraordinary understanding of the real estate market. We are writing to confirm that One Charter Oak, LLC has the financial capability to purchase the \$14.5mm land and construction of 63 homes.

I am confident that the LLC has the wherewithal to accomplish the development of this project.

Kindest regards,

A handwritten signature in black ink, appearing to read "Chris Copps", written in a cursive style.

Chris Copps
Partner

**Traffic Study
One Charter Oak Planned Community Development
(PCD)
City of Covina**



**CITY OF COVINA
125 East College Street
Covina, CA 91723**

Prepared for:
City of Covina Community Development Department
Brian K. Lee, Director

December 8, 2015

***** FOR TRAFFIC STUDY, PLEASE SEE MITIGATED NEGATIVE
DECLARATION****

Exhibit 9

Mitigated Negative Declaration – due to large file, document is available at <http://www.covinaca.gov/city-departments/community-development/planning>

Exhibit 10

Technical Appendices for MND (Noise Impact Analysis, Air Quality Analysis, Cultural Resources and Traffic Impact Analysis) – due to large file, the document is available at <http://www.covinaca.gov/city-departments/community-development/planning>